

T.M.A.P.C.  
APPLICATION

BOARD OF ADJUSTMENT  
CITY OF TULSA

*Planned Unit Development*

NO. 0-PUD 86  
S.T.R. 27-19-13

THE FOLLOWING INFORMATION IS TO BE SUPPLIED BY APPLICANT

ACTION REQUESTED

- ☒ VARIANCE  
☐ SPECIAL EXCEPTION  
☐ COMMUNITY DEVELOPMENT PROJECT

- ☒ INTERPRETATION OF ZONING TEXT  
☒ INTERPRETATION OF ZONING MAP  
☒ APPEAL FROM BUILDING INSPECTOR

UNDER THE PROVISIONS OF SECTION 42 TITLE Chapter 9, Tulsa Zoning Code

SET OUT BELOW THE SPECIFICS OF YOUR APPLICATION. WHERE APPLICABLE INDICATE PERTINENT ORDINANCE PROVISIONS, USES, DISTANCES, DIMENSIONS, ETC. YOU SHOULD ATTACH ANY PLOT PLANS, PHOTOGRAPHS, AND OTHER FACTUAL INFORMATION WHICH WILL ASSIST THE BOARD IN DETERMINING THE MERITS OF YOUR APPLICATION.

Request for approval of a Planned Unit Development Project.

(Amended C.D.P. No. 71)

PROPERTY LEGAL DESCRIPTION

Lincoln Estates Second Addition Blk 1, Lots 1 through 10,  
Tulsa County, Tulsa, Oklahoma.

NAME OF RECORD OWNER

Lincoln Property Co.

GENERAL LOCATION

47th Street and Braden

AS APPLICANT WHAT IS YOUR INTEREST IN THIS PROPERTY?

- ☐ PRESENT OWNER  
☐ PURCHASER  
☒ ATTORNEY FOR OWNER  
☐ AGENT FOR OWNER  
☐ OTHER

CERTIFY THAT THE SUBMITTED INFORMATION IS TRUE AND CORRECT

NAME

ADDRESS

PHONE

X John W. Suber  
X 905 NBT  
X LU-28815

FOR INTERNAL OFFICE USE

APPLICATION RECEIVED BY

C. Jones

DATE

May 28, 1970

FILING FEE RECEIPT

\$10.00 8937-5-28-70-VH

PUBLIC HEARING FEE RECEIPT

\$25.00 8937-5-28-70-DH

PRESENT ZONING

PRESENT USE

Vacant

ATLAS PAGE

384 & 467

OTHER PERTINENT INFORMATION

C.D.P. No. 71

DISPOSITION

DATE

10-21-70 Staff Rec. app. 47th Street  
TMAPC "MINOR AMENDMENT, app. is applied for"

Present Zoning RM-1, RM-2, & RS-3

Revision to Section 1021: Business Signs and Outdoor Advertising:

After the review, the Chair advised that no action would be taken this date, and further review by the Rules and Regulations Committee in conjunction with the Sign representatives would be necessary. He instructed the Staff to arrange a meeting as soon as possible.

✓ Minor Amendment of PUD #86

The Staff submitted the following report:

The Applicant, Lincoln Properties, represented by John Sublett, is requesting a minor modification of PUD #86 as approved by TMAPC on July 22, 1970. Since the property is all under one ownership and to be operated as one project, he is requesting that the phrase "(9 individual lots)" be deleted from Item 4 of the conditions listed in the minutes of July 22, 1970. The property has been platted (Lincoln Estates 2nd) and the plat amended by separate instrument to eliminate the 9 individual lot lines. No other changes are contemplated.

The Staff recommends APPROVAL of the requested change, which should amend the conditions of July 22, 1970 to read as follows:

4. "That the East 100' be restricted to duplex or single-family structures."
6. "That the specifications of the plot plan, as amended to eliminate interior lot lines, be included as conditions of approval."
7. "That the legal description in this paragraph be amended to read - 'All of Block 1, (as amended) Lincoln Estates 2nd Addition to the City and County of Tulsa, Oklahoma.'"

On MOTION of CAUGHEY, the Planning Commission voted unanimously to approve the minor amendment of PUD #86 as above stated.

Minutes:

On MOTION of CAUGHEY, the Planning Commission voted unanimously to approve the Minutes of October 7, 1970 (No. 830).

There being no further business, the Chair declared the meeting adjourned at 2:40 p.m.

Date Approved \_\_\_\_\_

Attest:

\_\_\_\_\_  
Chairman

\_\_\_\_\_  
Secretary

10.21.70:831(11)

COPY TO  
BLDG INSP  
11-6-70  
maw

PUD 86 John Sublett (Lincoln Properties) East side South Braden, 140'  
South of East 47th Place Zoned RM-1, RM-2, & RS-3

Mr. Sublett stated that this request was to allow a change in the density of CDP No. 71 from 218 to 268. At the time the CDP was filed it was agreed that duplexes would be along the East boundary of the property. The property as zoned would allow 307 units. We now propose to develop the project in two separate phases maintaining the duplexes on the East side and asking for an increase in the density. We have visited with the property owners in the area that were interested and they have no objections to this amendment provided there is no change in the duplexes.

Protests: None.

Staff Recommendation: None. The Staff was unable to give a recommendation, since an outlined development plan has not been submitted for review prior to the meeting.

Zoning Committee Recommendation: WITHHELD.

TMAPC Action: 6 members present.

On MOTION of KORNEGAY, the Planning Commission voted unanimously to approve PUD 86, subject to the conditions contained under CDP #71 (below) with the amendment to the number of allowable units from 218 to 268, on the following described tract:

1. That the maximum number of housing units not exceed 268 as per plot plan.
2. That the designated office, club, laundry, recreation building, and outdoor recreational facilities be permitted as per plot plan.
3. That a minimum of 1 1/2 off-street parking spaces per unit be provided.
4. That the East 100 feet (9 individual lots) be restricted to duplex or single-family structures.
5. That signs to identify the project shall not exceed 2 square feet in surface area per individual sign, one sign per structure, and each must be mounted flush with the building wall.
6. That the specifications of the plot plan be included as conditions of approval.
7. That development in accord with this plan shall not be permitted on any portion of the land not included in a plat that has received the approval of the TMAPC and been properly filed of record.

Block 1, Lots 1 through 10, Lincoln Estates Second  
Addition to the City of Tulsa, Tulsa County, Oklahoma.

TMAPC Members Present

Caldwell	Halstead
Cox	Kornegay
Forrester	Martin

Staff Present

Geary  
Osgood  
Martin

7.22.70:821(12)

LOT-SPLITS:

L-12183	Samuel C. Mosley	(2903)	L-12190	Dennis Beekman	(1694)
12184	James Kennedy, et al	(3402-3502)	12191	Alma Sager	( 193)
12189	Buelah Harrel	( 892)	12192	Thomas Nulf	( 583)

On MOTION of KORNEGAY, the Planning Commission voted unanimously to ratify prior approval of the above lot-splits.

L-12187 Agnes Smith (3192)

The Staff made the following report:

This application is to split one (1) acre from a five (5) acre tract which lies on the East side of 81st West Avenue South of West 56th Street South.

The applicant requests a waiver of Subdivision Regulations requiring conformance with the Major Street Plan which calls for 100 feet of right-of-way on 81st West Avenue. Present dedication is 25 feet on the West side of 81st West Avenue from West 56th Street South to West 61st Street. On the East side of 81st West Avenue the dedication is 25 feet except for a 50 foot width from West 56th Street South for 330 feet.

The Staff and TAC recommend DENIAL on the basis that existing street right-of-way is inadequate to serve and satisfy present and future health, safety and welfare needs, including vehicular traffic volumes, congestion and utility services.

Mrs. Smith stated that they own the entire five (5) acres, and that the reason they had filed for a lot-split was in order to get a bank loan to build a home on the one (1) acre piece. The other four (4) acres are not mortgaged.

On MOTION of LEAVITT, the Planning Commission voted unanimously to approve L-12187, waiving the Subdivision Regulations requiring conformance with the Major Street Plan.

COMMUNITY DEVELOPMENT PROJECT PUBLIC HEARING:

*P.V.D. 86 conditions*  
CDP No. 71 John Sublett East side Braden Avenue, South of East 47th Place

Mr. Gardner stated that two months ago the tract was zoned a combination of U-2A, U-2B and U-1C, subject to a CDP. He stated that in the discussion of the zoning, the 100' strip of U-1C to the East had been designated for duplex use, and that on the CDP plot plan it is designated as nine (9) individual lots, or a total of nine (9) duplexes. There are a total of 218 housing units in the project with parking around the perimeter.

Mr. Sublett stated that Lincoln Estates 2nd was the plat which was involved in the CDP, and that the Staff had approved in effect, the entire project.

10.1.69:777(5)

Staff Recommendations:

The subject property is zoned a combination of U-2B, U-2A and U-1C and the applicant is requesting approval of a Community Development Project to accommodate 218 multifamily units covering an area of approximately 11 1/2 acres.

The Staff has examined the CDP plot plan and recommends APPROVAL of CDP No. 71, subject to the following conditions:

1. That the maximum number of housing units not exceed 218 as per plot plan.
2. That the designated office, club, laundry, recreation building, and outdoor recreational facilities be permitted as per plot plan.
3. That a minimum of 1 1/2 off-street parking spaces per unit be provided.
4. That the East 100 feet (9 individual lots) be restricted to duplex or single-family structures.
5. That signs to identify the project shall not exceed 2 square feet in surface area per individual sign, one sign per structure, and each must be mounted flush with the building wall.
6. That the specifications of the plot plan be included as conditions of approval.
7. That development in accord with this plan shall not be permitted on any portion of the land not included in a plat that has received the approval of the TMAPC and been properly filed of record.

On MOTION of KORNEGAY, the Planning Commission voted unanimously to recommend to the City Board of Adjustment that CDP No. 71 be APPROVED, subject to the conditions of the Staff (above) on the following described property:

Lots 7, 8, 9, 10, and the East Half of Lots 11 and 12, Canfield Addition to the City of Tulsa, Oklahoma.

RS-2

CS

RM-2

CS

E. 47th PL.

RM-2

EAST

RM-1

RS-3

CH

P.U.D. 66  
(under const.)  
APTS. RM-1

RS-2

CS

VALE

BRADEN AVENUE

DARLINGTON AVENUE

RS-3

RM-2

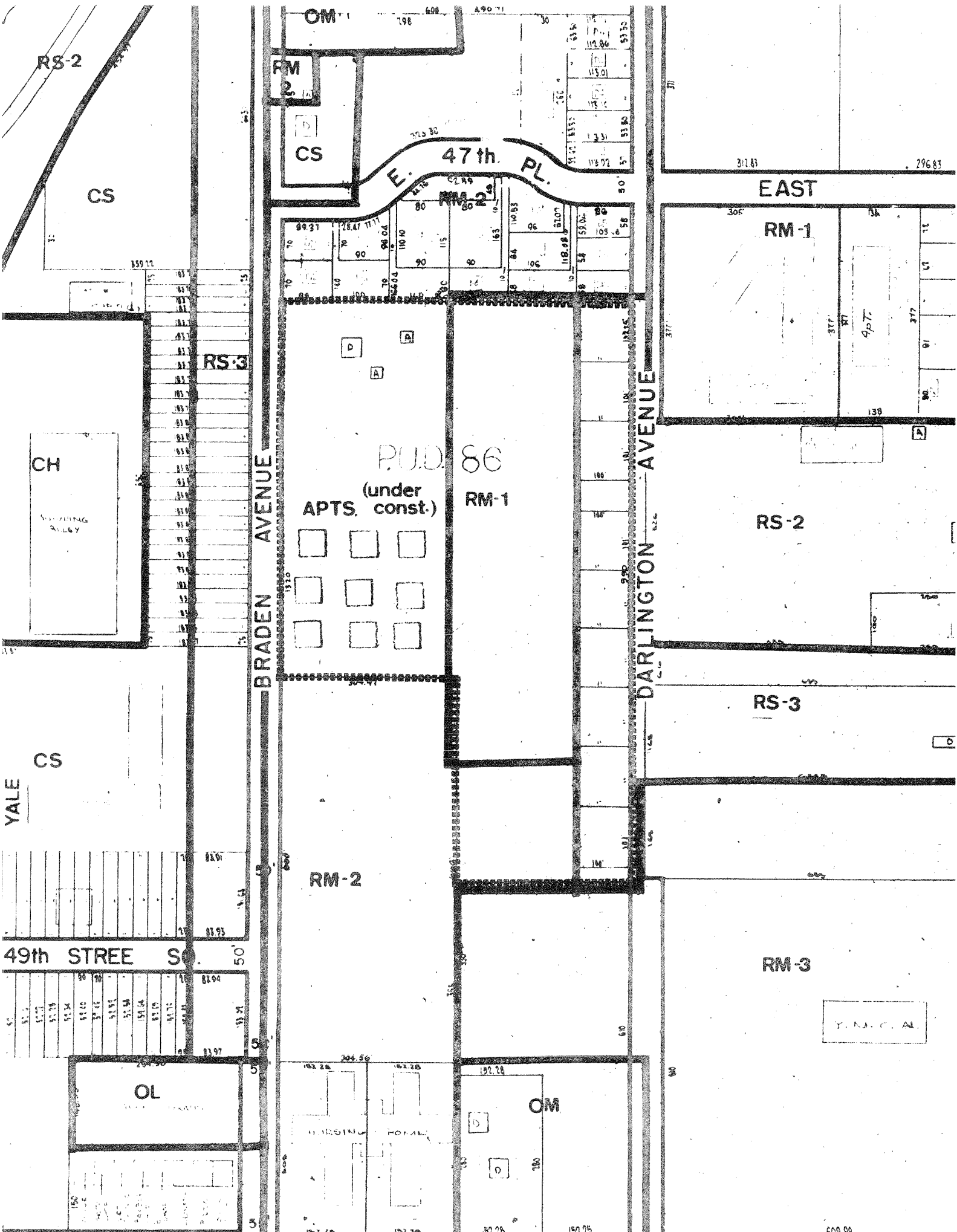
RM-3

49th STREET SO.

OL

THINKING COURTS

OM



RS-2

CS

RS-3

CH

YALE

CS

49th STREET S

OL

OM

RM-2

CS

E. 47th PL.

P.U.D. 86

(under const.)  
APTS.

RM-1

RM-2

DARLINGTON AVENUE

EAST

RM-1

RS-2

RS-3

RM-3

OM

Y.N.C.A.

Pt. SW/4, 2793  
CZM 48

TULSA METROPOLITAN AREA PLANNING COMMISSION  
ZONING CASE REPORT

APPLICATION No. PUD #86 John Sublett (Lincoln Property Co.) (CDP #71)

Size of Tract:

Existing Use: CDP #71

Staff Field Check: July 13, 1970

Proposed Use:

EXISTING CONDITIONS:

ZONING ORDINANCE

The Zoning Pattern for this area was established by Ordinance No. 11824, dated July 1, 1970.

Zoning Background

CDP #71 October 1969

Request for PUD (then CDP) on the subject tract was recommended for approval by the TMAPC and granted by the Board of Adjustment.

Adjacent Streets

<u>Existing</u>	<u>Width</u>	<u>Surface</u>	<u>Curbs &amp; Gutters</u>	<u>Parking Restrictions</u>
South Braden Ave.	26'	Blacktop	No	No
South Darlington Avenue	26'	Portland	Yes	No

Surrounding Area

The area under application is located between Braden Avenue and Darlington Avenue, North of East 51st Street. There are apartments to the North and East. To the East and South is vacant land. To the West is a parking lot accessory to a commercial use.

# PROOF OF PUBLICATION

STATE OF OKLAHOMA, TULSA COUNTY, ss:

Dexter Moss, Jr., of lawful age, being duly sworn, upon oath deposes and says that he is the publisher and editor of the TULSA DAILY LEGAL NEWS, a daily newspaper printed in the English language, in the City of Tulsa, Tulsa County, Oklahoma, having a bona fide paid general circulation therein, and with entrance into the United States mail as second class mail matter in Tulsa County, and published in said county where delivered to the United States mail, and that the notice by publication, a copy of which is hereto attached, was published in said newspaper for 7 consecutive days-weeks, the first publication being on the 10 day of July, 19 70, and the last day of publication being on the 17 day of July, 19 70, and that said newspaper has been continuously and uninterruptedly published in said county during the period of more than One Hundred and Four (104) weeks consecutively, prior to the first publication of said notice, or advertisement, as required by Section one, Chapter four, Title 25 Oklahoma Session Laws, 1943, as amended, and complies with all 495, 22nd Legislature, and thereafter, and requirements of the laws of Oklahoma of the prescriptions and requirements of the laws of Oklahoma. (The advertisement above referred to is a true and printed copy. Said notice was published in all editions of said newspaper and not in a supplement thereof.)

Subscribed and sworn to before me by Dexter Moss, Jr., publisher and editor of the TULSA DAILY LEGAL NEWS, this 8th day of July, 19 70.

Notary Public.

My commission expires NOV 28 1971

PUBLISHER'S FEE \$ \_\_\_\_\_

## METROPOLITAN LEGALS

(C-23883)  
(Published in the Tulsa Daily Legal News, July 7, 1970, Dexter Publishing Co., Publishers.)

### NOTICE TO THE PUBLIC OF A HEARING ON A PROPOSED PLANNED UNIT DEVELOPMENT P.U.D. NO. 86.

Notice is hereby given that a public hearing will be held before the Tulsa Metropolitan Area Planning Commission, in Langenheim Auditorium, City Hall, 200 Civic Center, Tulsa, Oklahoma, at 1:30 p.m., on the 22nd day of July, 1970.

At that time and place, consideration will be given to P.U.D. No. 86, a proposed planned unit development permitting varied dwelling types and accessory facilities, as regulated by Title 42, Sections 910-970, Tulsa Revised Ordinances, of a tract of real property presently zoned RM-1, RM-2, & RS-3 and described as:

Block 1, Lots 1 through 10, Lincoln Estates Second Addition to the City of Tulsa, Tulsa County, Oklahoma.

and being approximately located south of East 47th Place between Braden Avenue and Darlington Avenue.

All persons interested in this matter may be present at this hearing and present their objections to or arguments for the proposed development.

After hearing, review and consideration, the Tulsa Metropolitan Area Planning Commission may approve, approve with modification, or deny the proposed planned unit development.

The application, and outline development plan, maps and text may be inspected at the offices of the Tulsa Metropolitan Area Planning Commission, 3rd Floor, City Hall, 200 Civic Center, Tulsa, Oklahoma.

DATED at Tulsa, Oklahoma, this 7th day of July, 1970. K. N. COX, Secretary.

P.U.D.

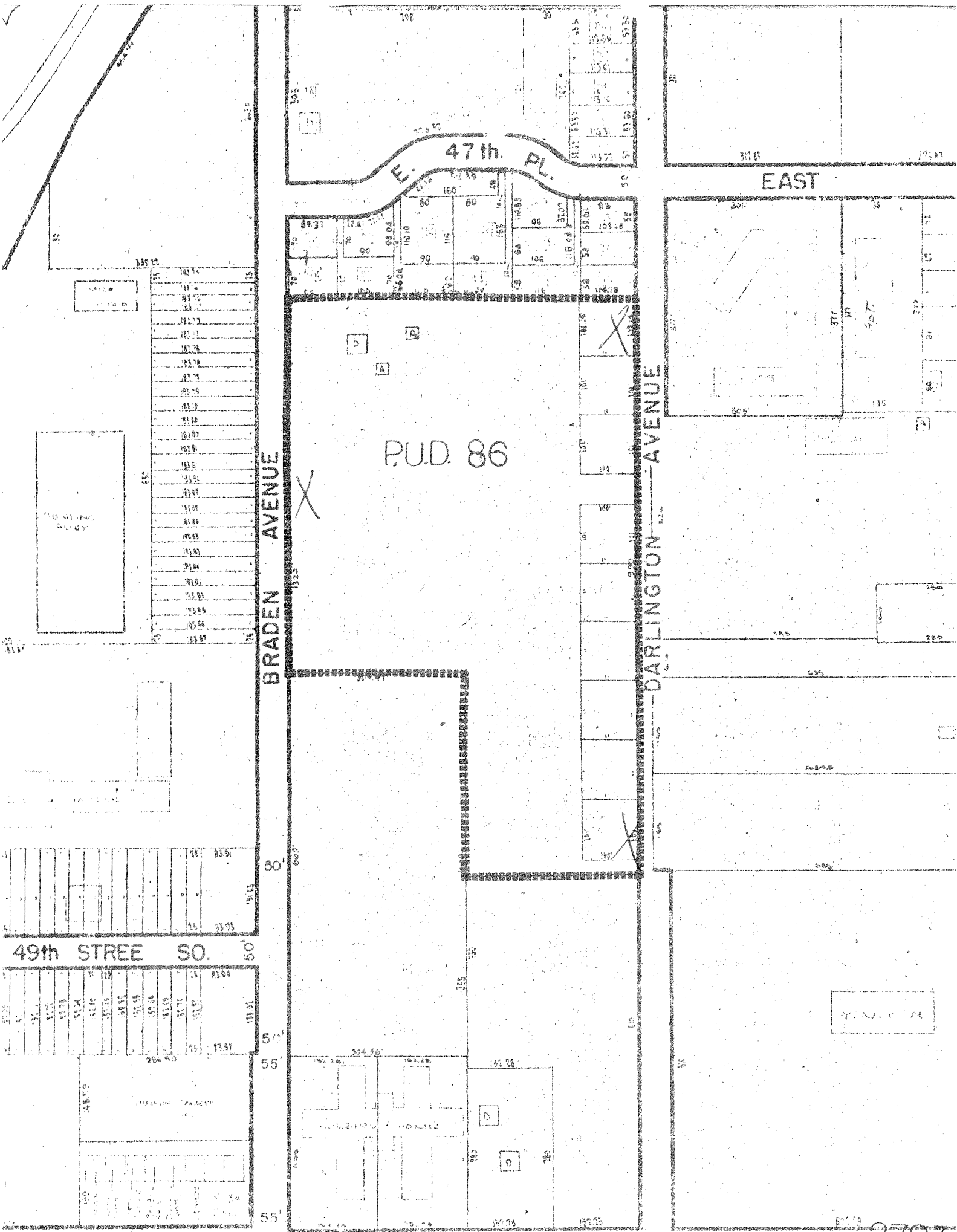
86

NOTICE TO THE PUBLIC  
IT IS PROPOSED TO DEVELOP  
THIS PROPERTY AS A  
PLANNED UNIT DEVELOPMENT  
(permitting varied dwelling types and accessory facilities)

A PUBLIC HEARING WILL BE HELD  
IN LANGENHEIM AUDITORIUM  
200 CIVIC CENTER, TULSA, OKLAHOMA,  
ON 7-22, 19 70, AT 1:30 P.M. BY

THE TULSA METROPOLITAN AREA  
PLANNING COMMISSION,

581-5531



E. 47th PL.

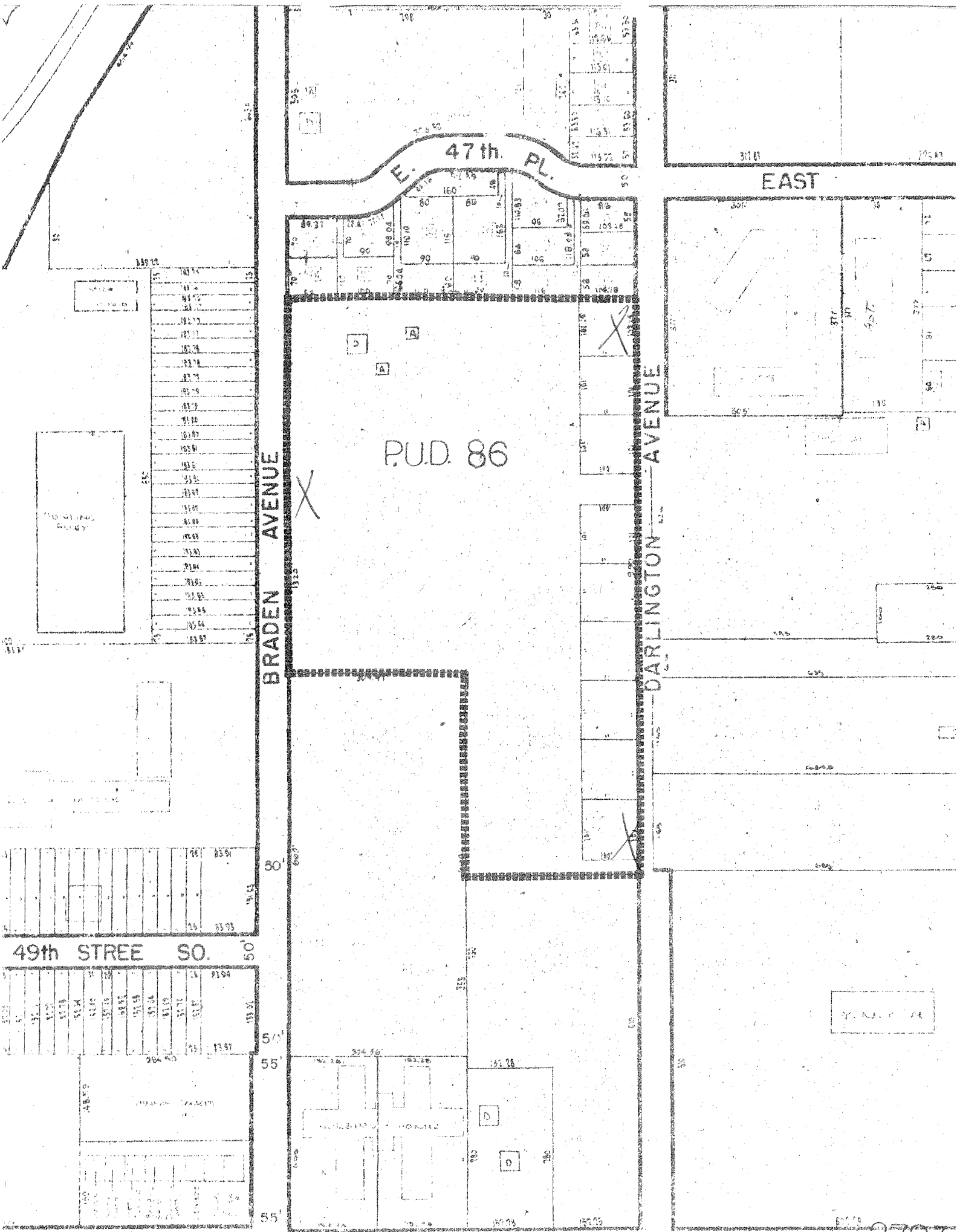
EAST

BRADEN AVENUE

DARLINGTON AVENUE

P.U.D. 86

49th STREET SO.



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RM-2, & RS-3

**Block 1, Lots 1 through 10, Lincoln Estates Second Addition to  
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and Darlington Avenue.**

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DATED at Tulsa, Oklahoma, this 7th day of July, 1970.

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K. N. Cox, Secretary

TEXT CONDITIONS - PUD #86

1. That the maximum number of housing units not exceed 268 as per plot plan.
2. That the designated office, club, laundry, recreation building, and outdoor recreational facilities be permitted as per plot plan.
3. That a minimum of 1 1/2 off-street parking spaces per unit be provided.
4. That the East 100 feet (9 individual lots) be restricted to duplex or single-family structures.
5. That signs to identify the project shall not exceed 2 square feet in surface area per individual sign, one sign per structure, and each must be mounted flush with the building wall.
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LINCOLN EST. 2nd

1C = (E 100')

$$100 \times 989.5 = 98950 \text{ \# on } 2.27 \text{ acres.}$$

24737.5
123,687.5 \# or

2A = (W 204.51 of E 304.51)

$$204.51 \times 989.5 = 202363 \text{ \# or } 4.65 \text{ acres.}$$

16487.5
218850.5

2B = (W 304.47')

$$304.47 \times 659.5 = 200793 \text{ \# or } 4.61 \text{ acres}$$

16487.5
217280.5

TOTAL

11.53 acres

NPN 7.22.10

PUD # 86

(2) KM-2

$$\begin{array}{r} 1400 \overline{) 217,285.50 \phi} \quad \text{units in RM-2 w/ two + bedrooms} \\ \underline{1400} \phantom{00} \\ 7728 \phantom{00} \\ \underline{7000} \phantom{00} \\ 7285 \phantom{00} \\ \underline{7000} \phantom{00} \\ 2855 \phantom{00} \\ \underline{2800} \phantom{00} \\ 550 \end{array}$$

(land area - Z extended 25' to CL of J. Bracken)

RM-1

$$\begin{array}{r} 2200 \overline{) 202,363.00 \phi} \quad \text{units in RM-1 w/ 2+ bedrooms} \\ \underline{19800} \phantom{00} \\ 4363 \phantom{00} \\ \underline{2200} \phantom{00} \\ 21630 \phantom{00} \\ \underline{19800} \phantom{00} \\ 18300 \phantom{00} \\ \underline{17600} \phantom{00} \\ 700 \end{array}$$

$$\begin{array}{r} 155.20 \\ \underline{91.98} \\ 247.18 \\ \underline{98} \quad \text{AS-5} \\ \underline{265.18} \end{array}$$

AS-3

$$123,687.5 \phi$$

(P.U.D. 86)

RM-1 - 119.03 units (w/ 1 bedroom)

RM-2 - 167.33 units (w/ 1 bedroom)

RS-3 → 13.193

$$\begin{array}{r} 7500 \overline{) 98950.000} \\ \underline{7500} \phantom{00} \\ 23950 \phantom{00} \\ \underline{22500} \phantom{00} \\ 14500 \phantom{00} \\ \underline{7500} \phantom{00} \\ 70000 \phantom{00} \\ \underline{67500} \phantom{00} \\ 25000 \phantom{00} \\ \underline{22500} \phantom{00} \\ 2500 \phantom{00} \end{array}$$

$$\begin{array}{r} 4 \\ 7500 \\ \underline{9} \\ 67500 \\ \underline{4} \\ 7500 \\ \underline{9} \\ 67500 \\ \underline{2} \\ 7500 \\ \underline{4} \\ 30000 \end{array}$$

Units in P.U.D. cannot exceed  
119.03

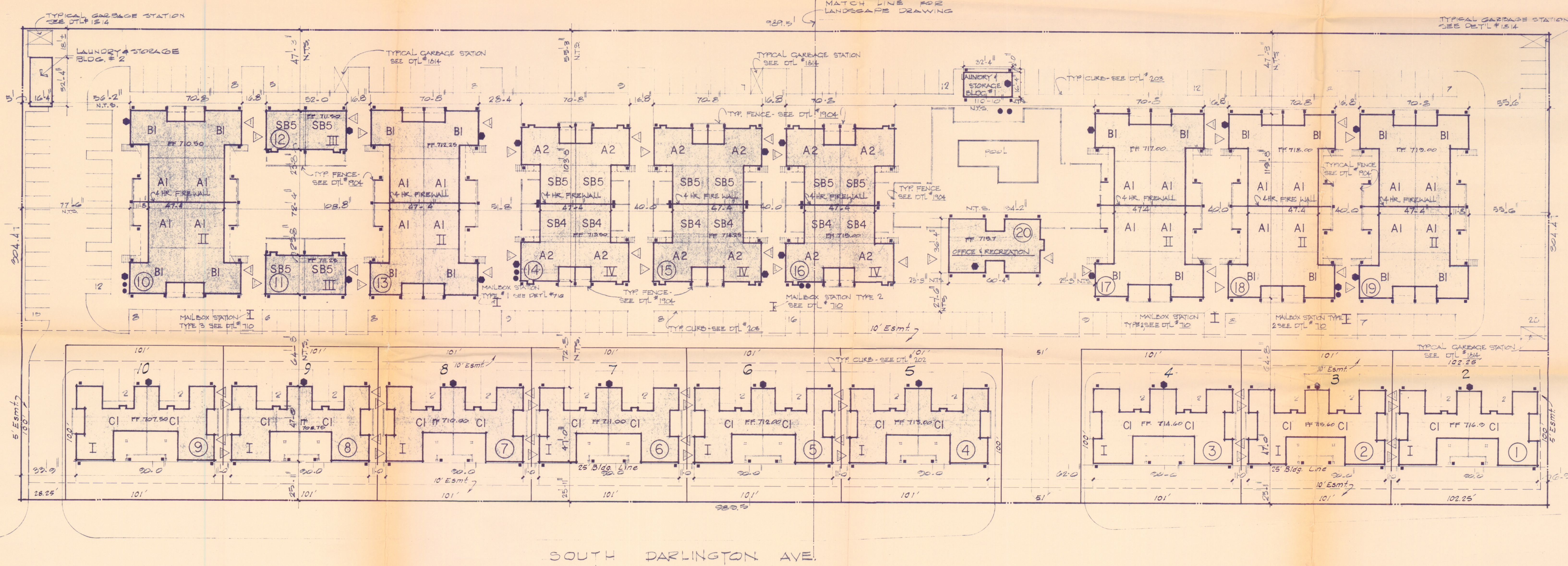
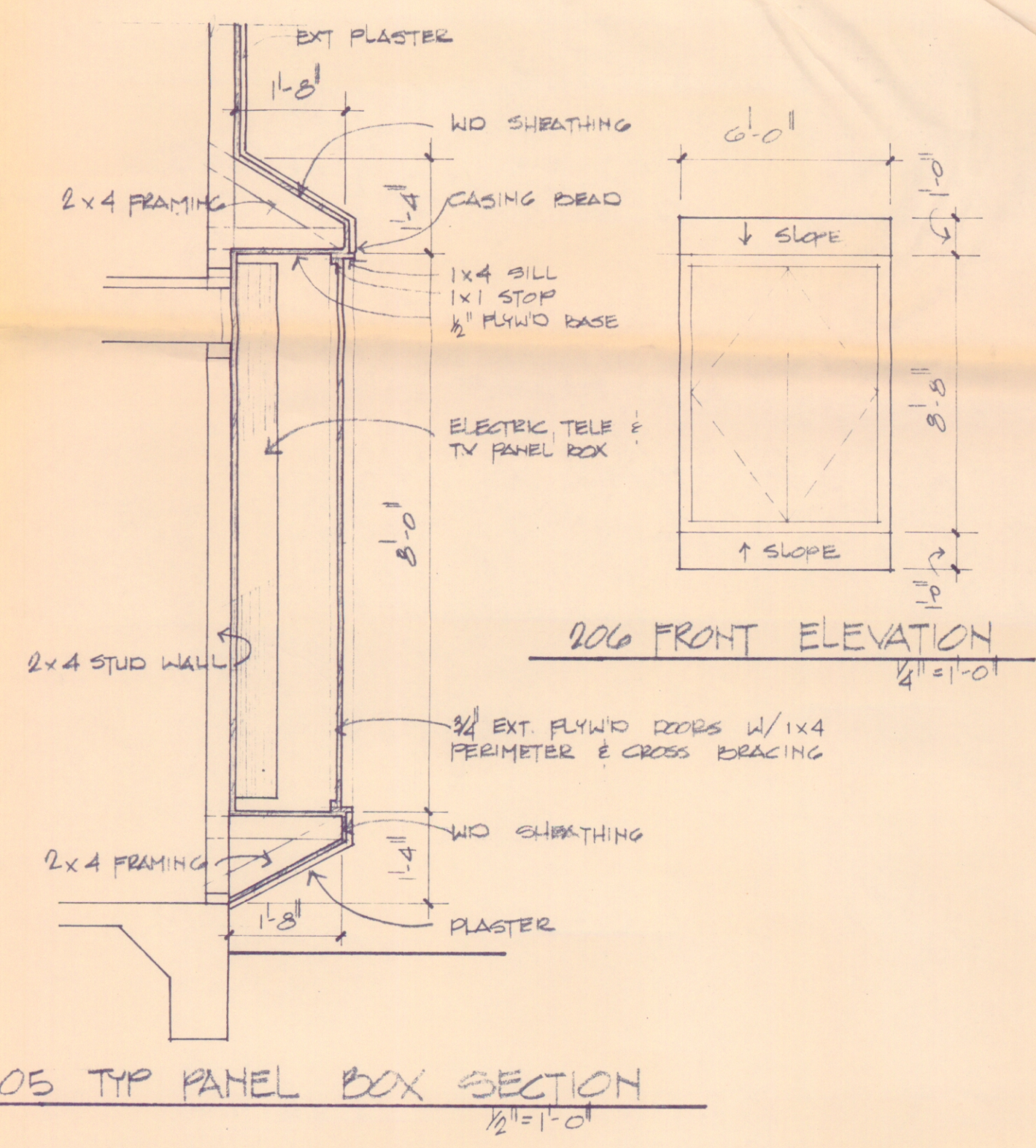
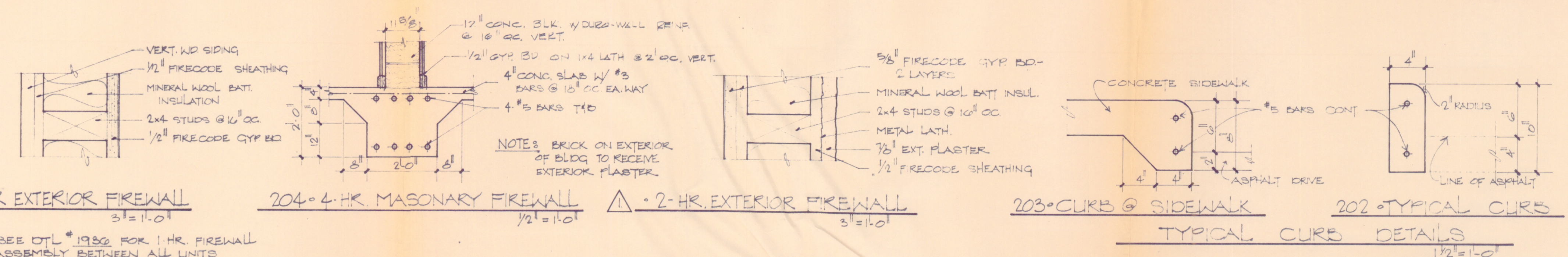
SHEET INDEX	
1. COVER SHEET	
2. SITE PLAN, PROGRAM SHEET, INDEX, GEN. SITE NOTES	
3. TYPICAL 1/2" UNIT PLANS, DOOR & WINDOW SCHEDULE	
4. TYPICAL 1/2" UNIT PLANS	
5. ELECTRICAL PLANS, LEGEND & NOTES	
6. AIR CONDITIONING PLANS	
7. BLDG. TYPE I - 1/2" PLANS, ELEV. & SECT. MAIL BOX DTL	
8. BLDG. TYPE II - 1/2" PLANS, ELEV. & SECT.	
9. BLDG. TYPE III - 1/2" PLANS, ELEV.	
10. VOID	
11. VOID	
12. VOID	
13. BLDG. TYPE IV -	
14. VOID	
15. VOID	
16. OFFICE & RECREATION BLDG., PLANS, ELEV. & DETAILS	
17. LAUNDRY & STORAGE BLDG., PLAN & ELEV.	
18. TYPICAL WALL SECTIONS & DETAILS	
19. INTERIOR ELEVATIONS	

NOTE:  
ALL SHEETS ABOVE, NOTED AS VOID, ARE NOT INCLUDED IN THIS SET OF DRAWINGS. SEE REVISION DATE 6-2-10.

PROGRAM				
TYPE	DESCRIPTION	AREA	UNITS	TOTAL
A-1	1BR-1B, FLAT	710	40	28,400
A-2	1BR-1B-DEN, FLAT	813	24	19,512
B-1	2BR-1/2B, FLAT	870	40	34,800
SB5	2BR-1/2B, STUDIO	123	10	12,310
SB4	2BR-2/2B, STUDIO	123	6	7,386
C1	3BR-2/2B, FLAT	1335	18	24,030
TOTAL UNITS		38		126,438
238 TOTAL PARKING SPACES				
LAUNDRY & STOR 2-530' x 1060'				
RECREATION & OFFICE = 2017'				
TOTAL BLDG. AREA = 129,513'				
BLDG. TYPE	NO. OF BLDG.	NO. & TYPE OF UNITS	UNITS/BLDG.	TOTAL UNITS
I	9	2, C1	2	18
II	5	6, A1, 6, B1	16	80
III	2	2, SB4	2	4
IV	3	6, A2, 2, SB4, 2 SB5	12	36
19 - BLDGS				136 UNITS

**GENERAL SITE NOTES**

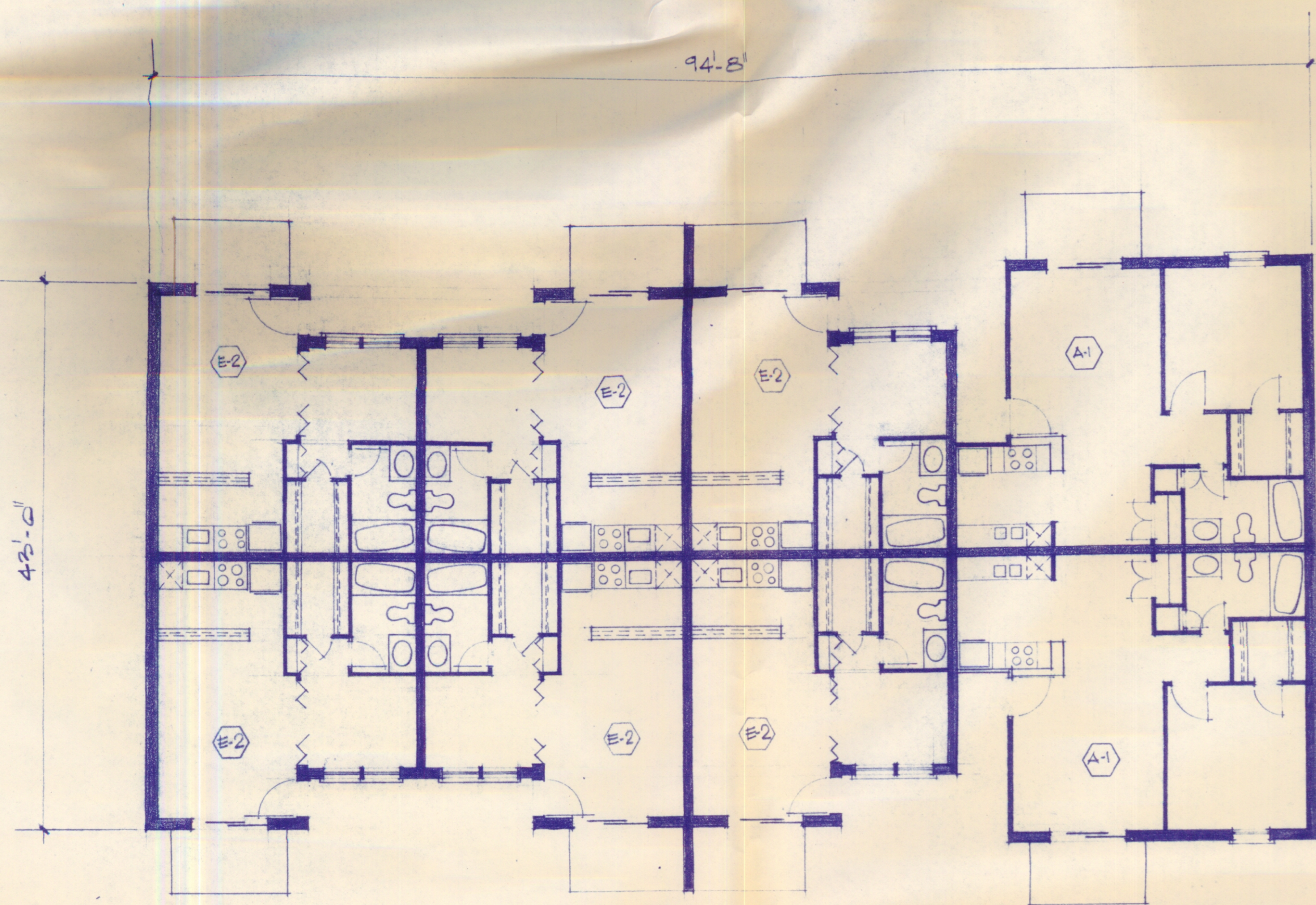
- REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR ALL SITE & LANDSCAPE INFORMATION.
- SOME DRAWINGS IN THIS SET ARE NOT DRAWN TO SCALE BECAUSE OF MAJOR CHANGES AFTER THE ORIGINAL COMPLETION DATE. IN ALL CASES THE DIMENSIONS ARE CORRECT - DO NOT SCALE DRAWINGS.
- - DENOTES DOWNSPOUT
- ONE STORY CONSTRUCTION IN BLDG. NO. 1, 2, 3, 4, 5, 6, 7, 8, 9. TWO STORY CONSTRUCTION IN ALL OTHERS.
- FIREPLACES OCCUR IN EACH 'C1' UNIT; ON FIRST FLOOR OF THE 'SB5' UNITS, BLDG. NO. 11 & 12 ONLY, AND SECOND FLOOR ONLY OF ALL 'A2' UNITS.
- II - DENOTES BLDG. TYPE
- SB4 - DENOTES APARTMENT TYPE
- ③ - DENOTES BLDG. NUMBER
- ALL EXTERIOR WALLS HAVE A ONE HOUR FIRE RATING - SEE DETAIL A, EXCEPT WHERE OTHERWISE NOTED.
- C1 UNITS TO HAVE INDIVIDUAL MAILBOXES, & TRASH PICK-UP.
- - DENOTES APPROXIMATE LOCATIONS OF TRANSFORMERS. SEE LANDSCAPE PLANS FOR EXACT LOCATIONS.
- - DENOTES APPROX. LOCATIONS OF ELEC. PANEL BOX.



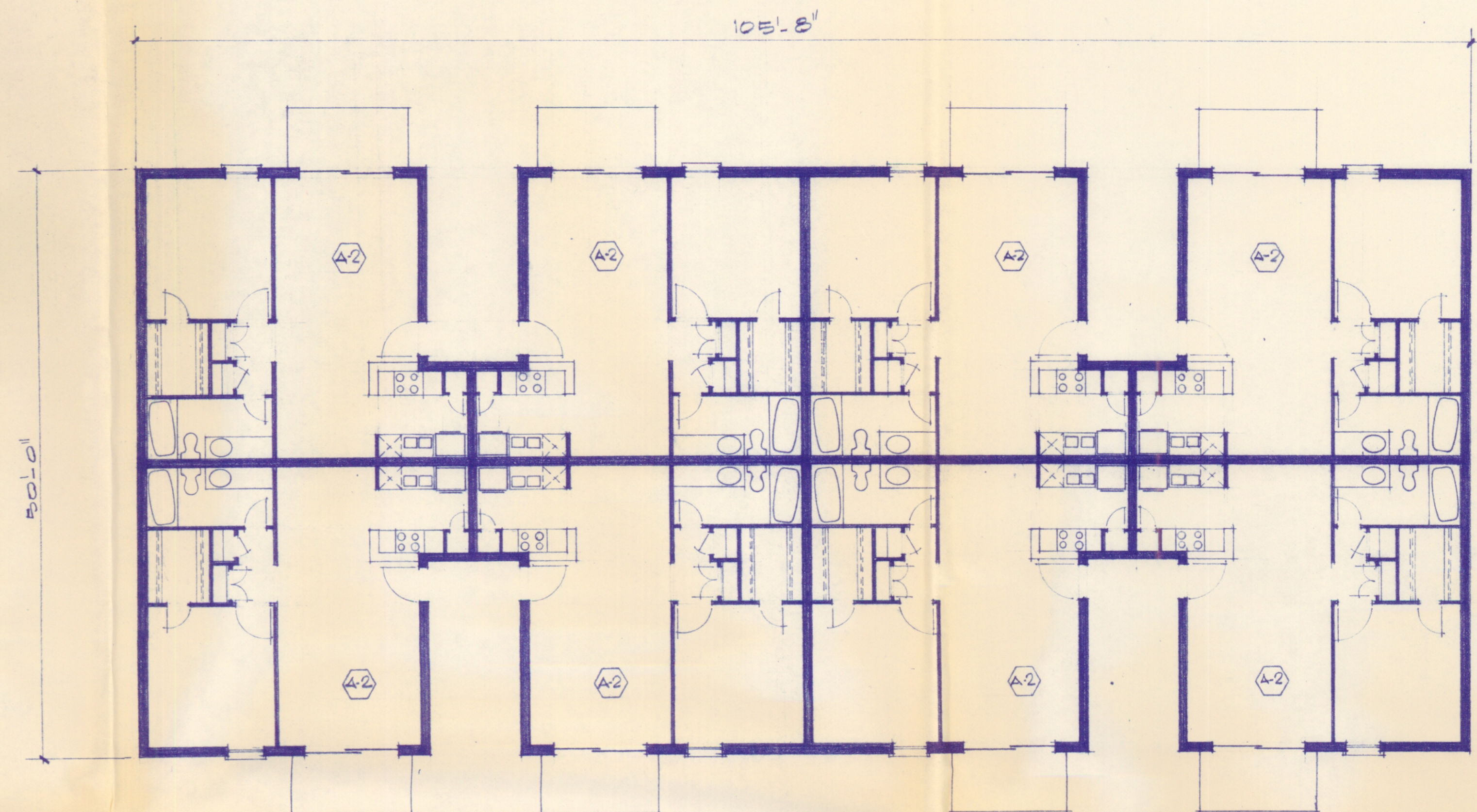
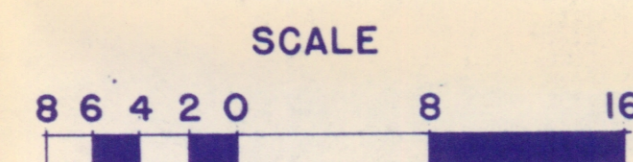
201- SITE PLAN



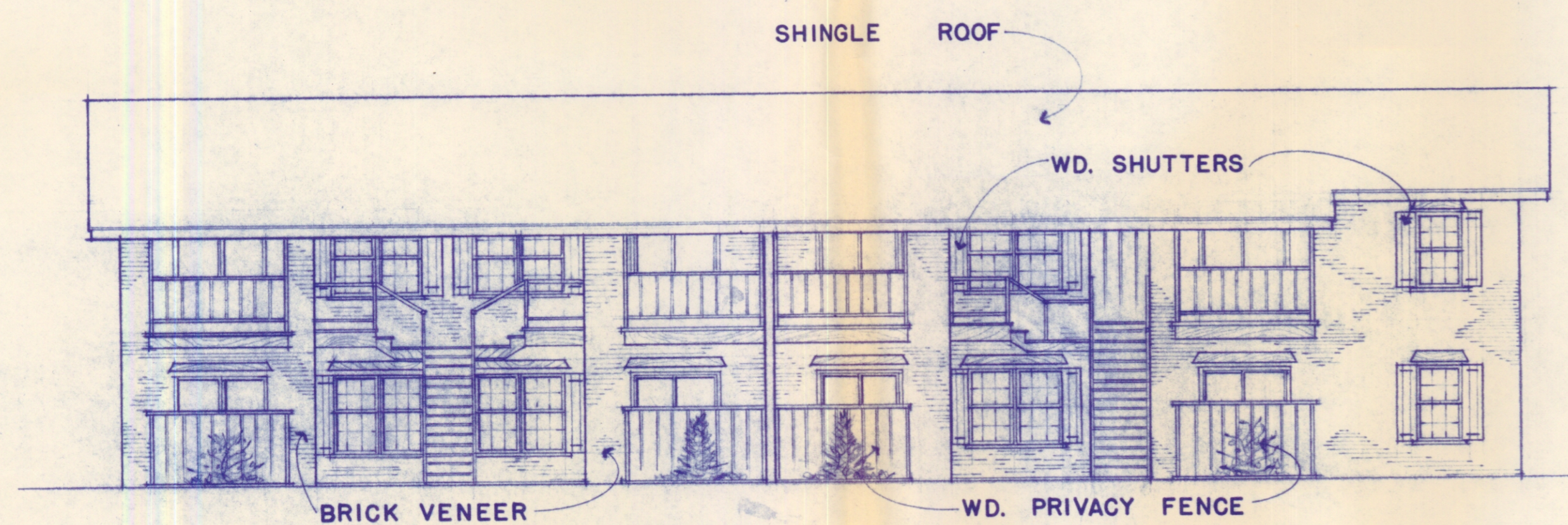
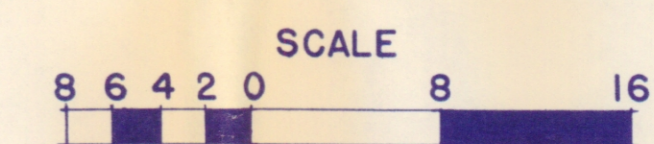
SITE DESCRIPTION -  
ALL OF LOTS 1 THRU 10 BLK 1 OF LINCOLN ESTATES, THE ADDITION TO THE CITY OF TULSA, LESS THE WEST 304.41' OF THE NORTH CORNER OF LOT 1, BLK 1.



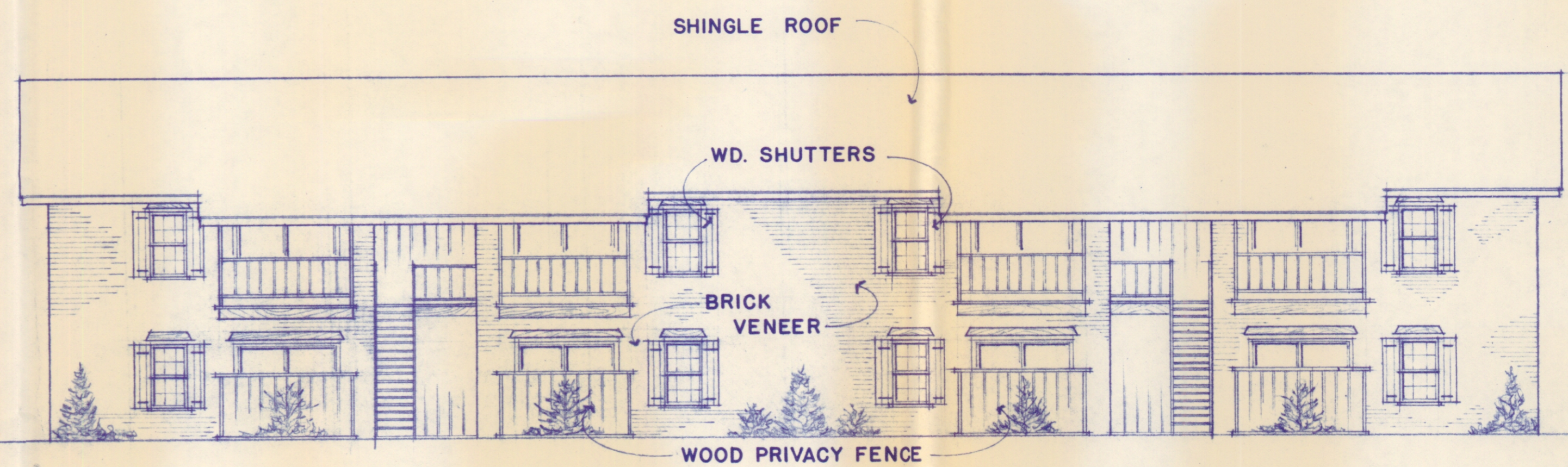
TYPICAL BUILDING PLAN 12 E-2 & 4 A-1 UNITS



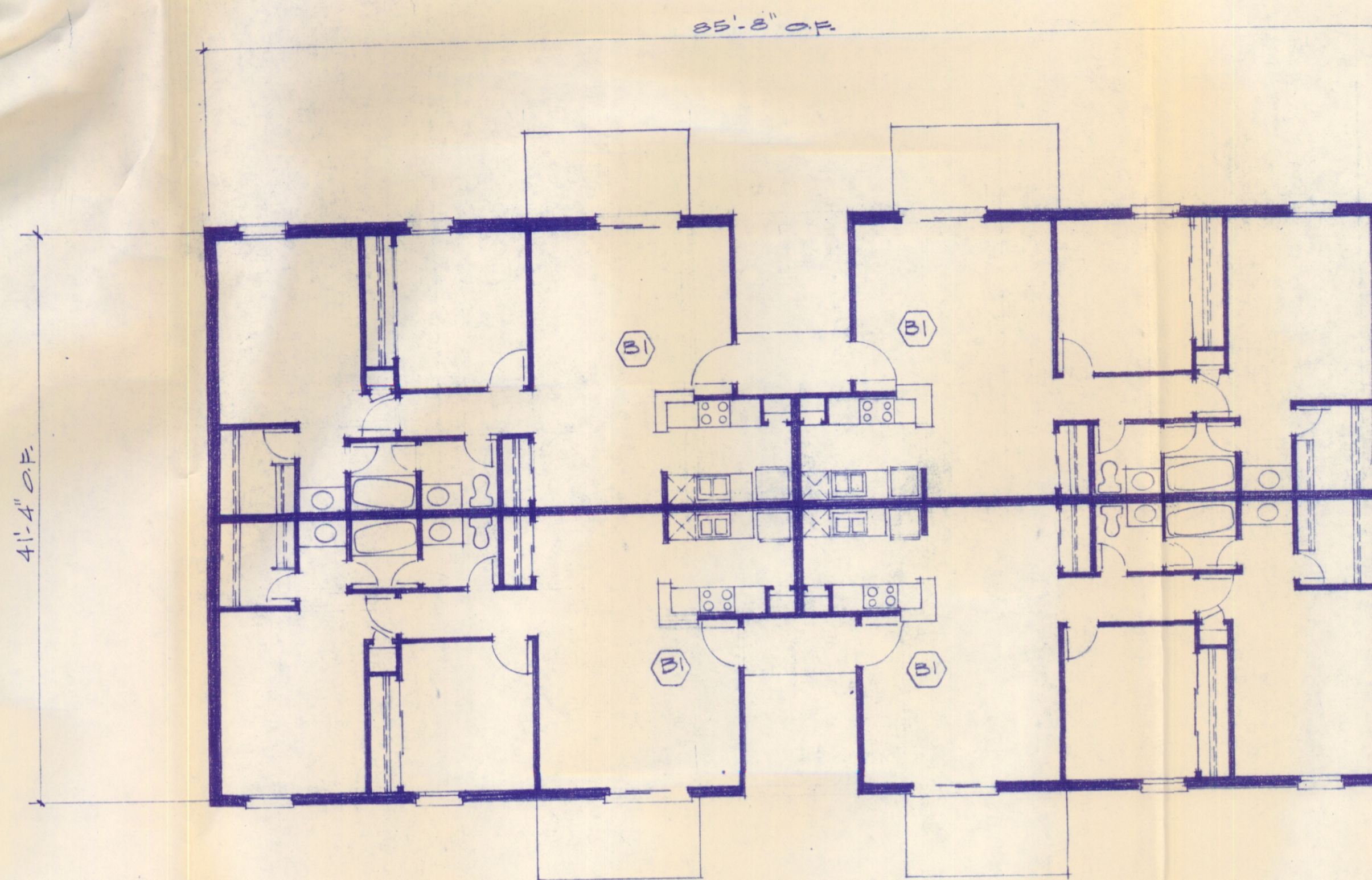
TYPICAL BUILDING PLAN 16 A-2 UNITS



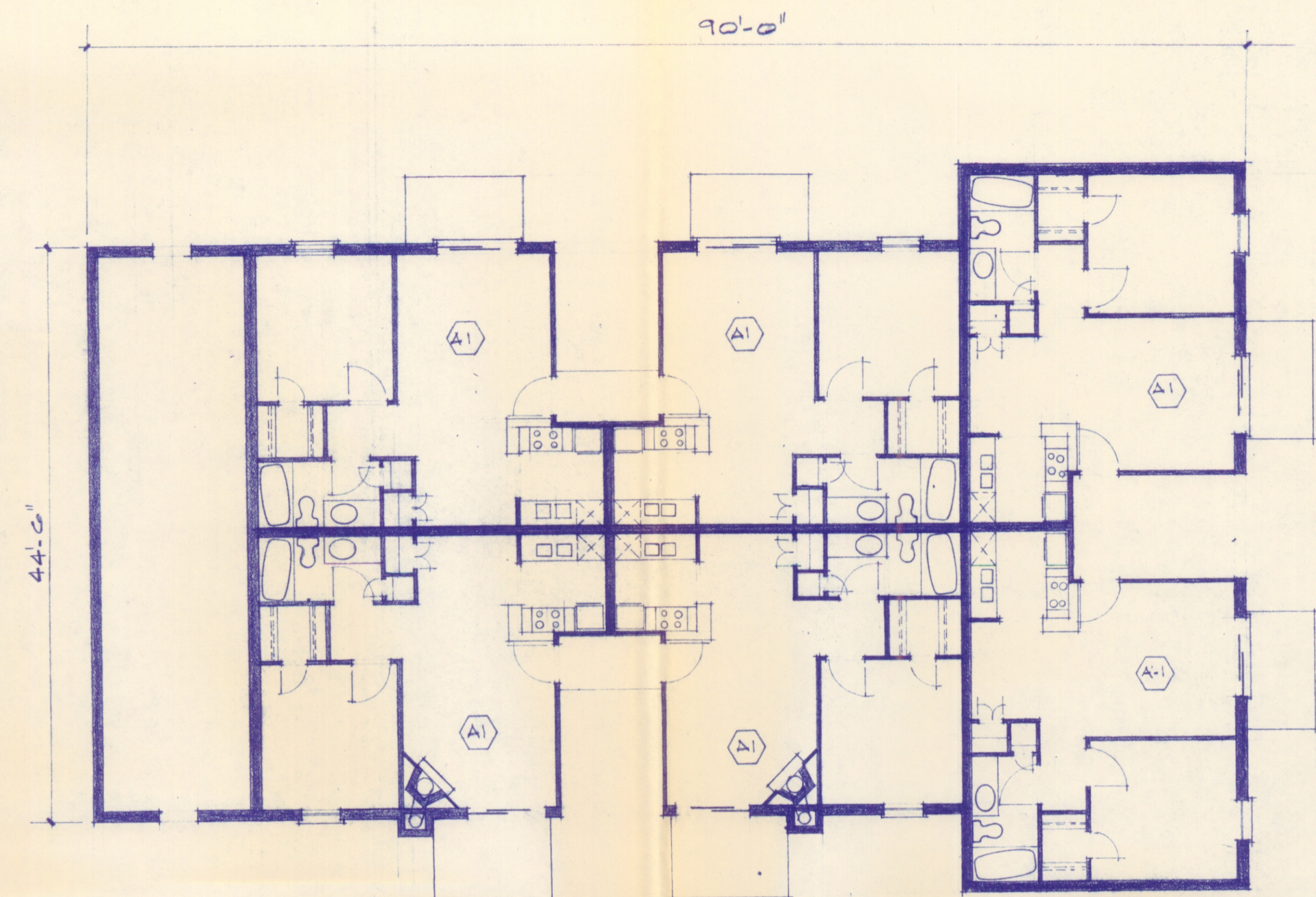
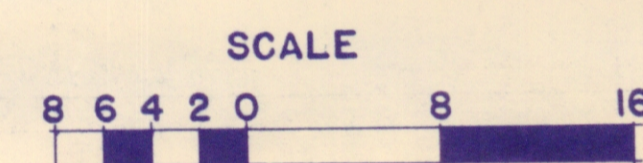
TYPICAL FRONT ELEVATION 12 E-2 & 4 A-1 UNITS



TYPICAL FRONT ELEVATION 16 A-2 UNITS



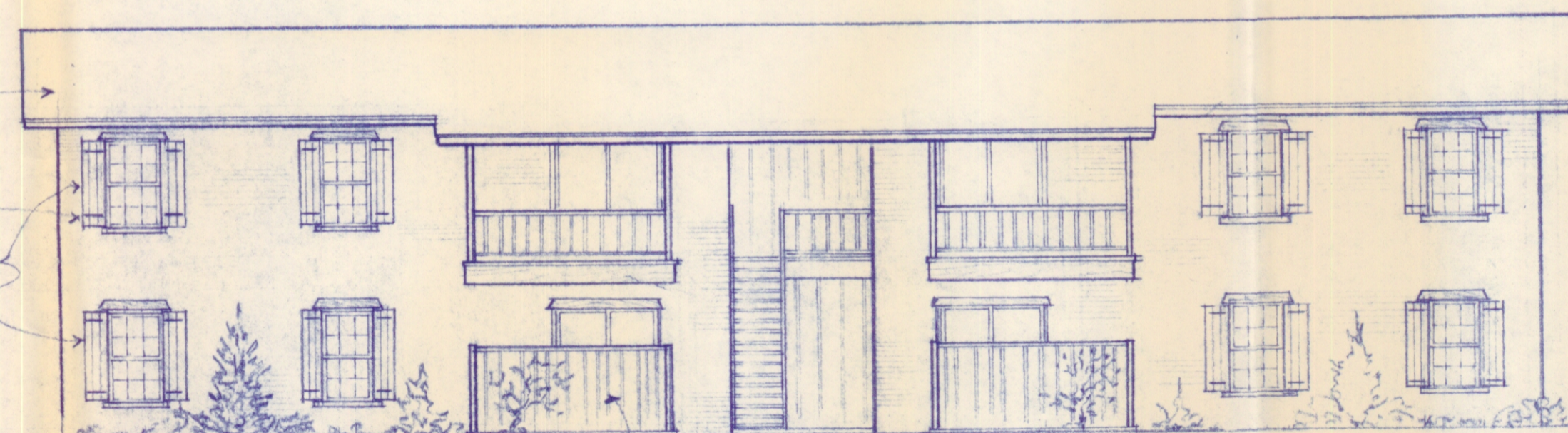
TYPICAL BUILDING PLAN 8 B-1 UNITS



TYPICAL BUILDING PLAN 12 A-1 UNITS

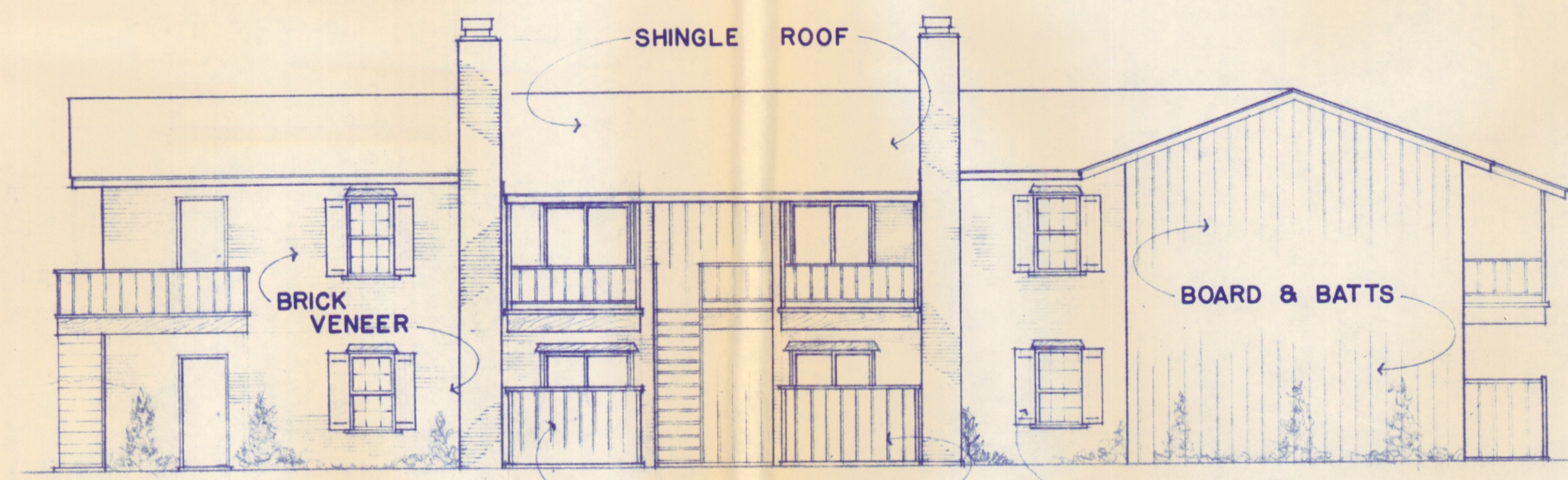


SHINGLE ROOF  
BRICK VENEER  
WOOD SHUTTERS



WD. PRIVACY FENCE

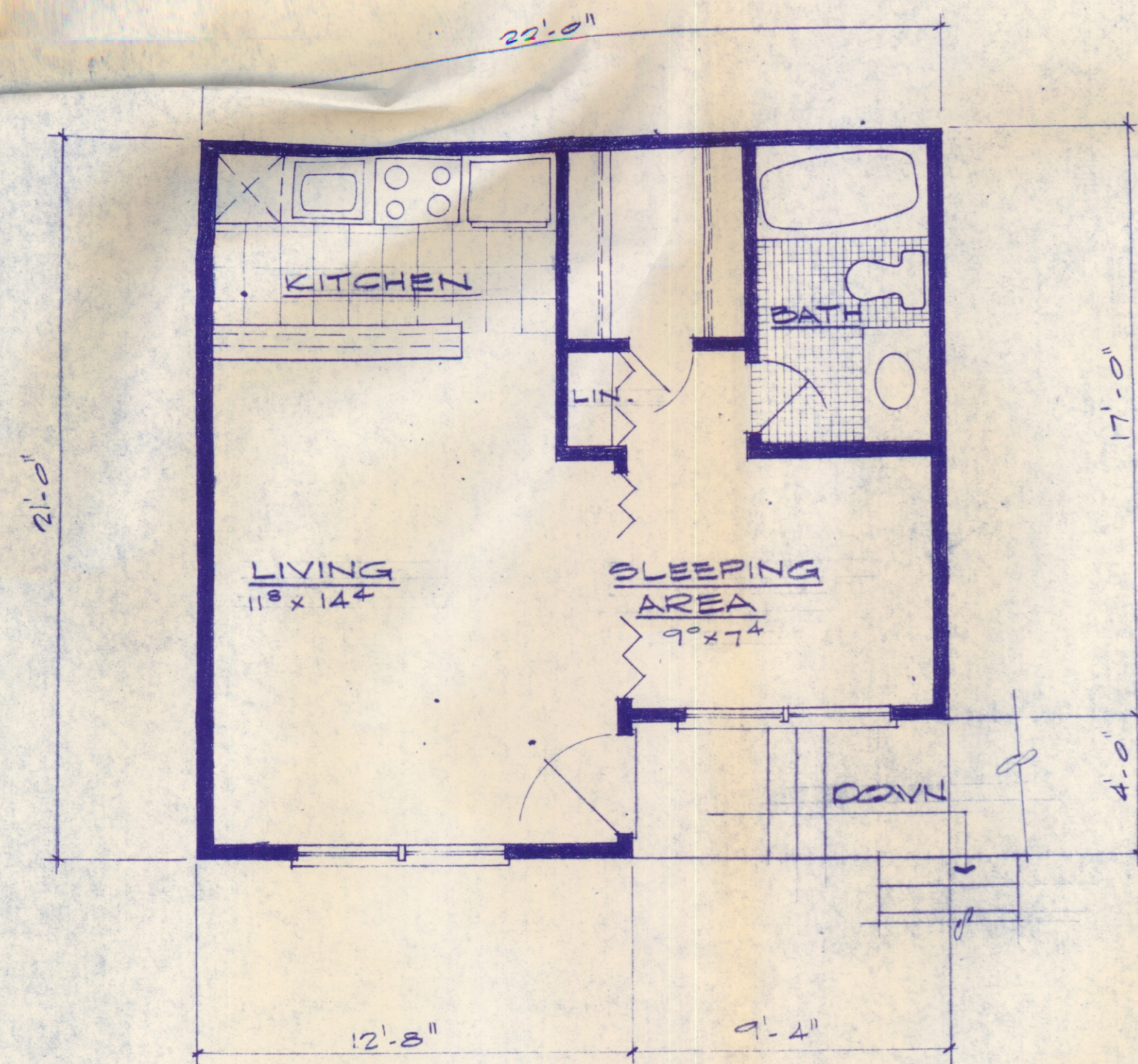
TYPICAL FRONT ELEVATION 8 B-1 UNITS



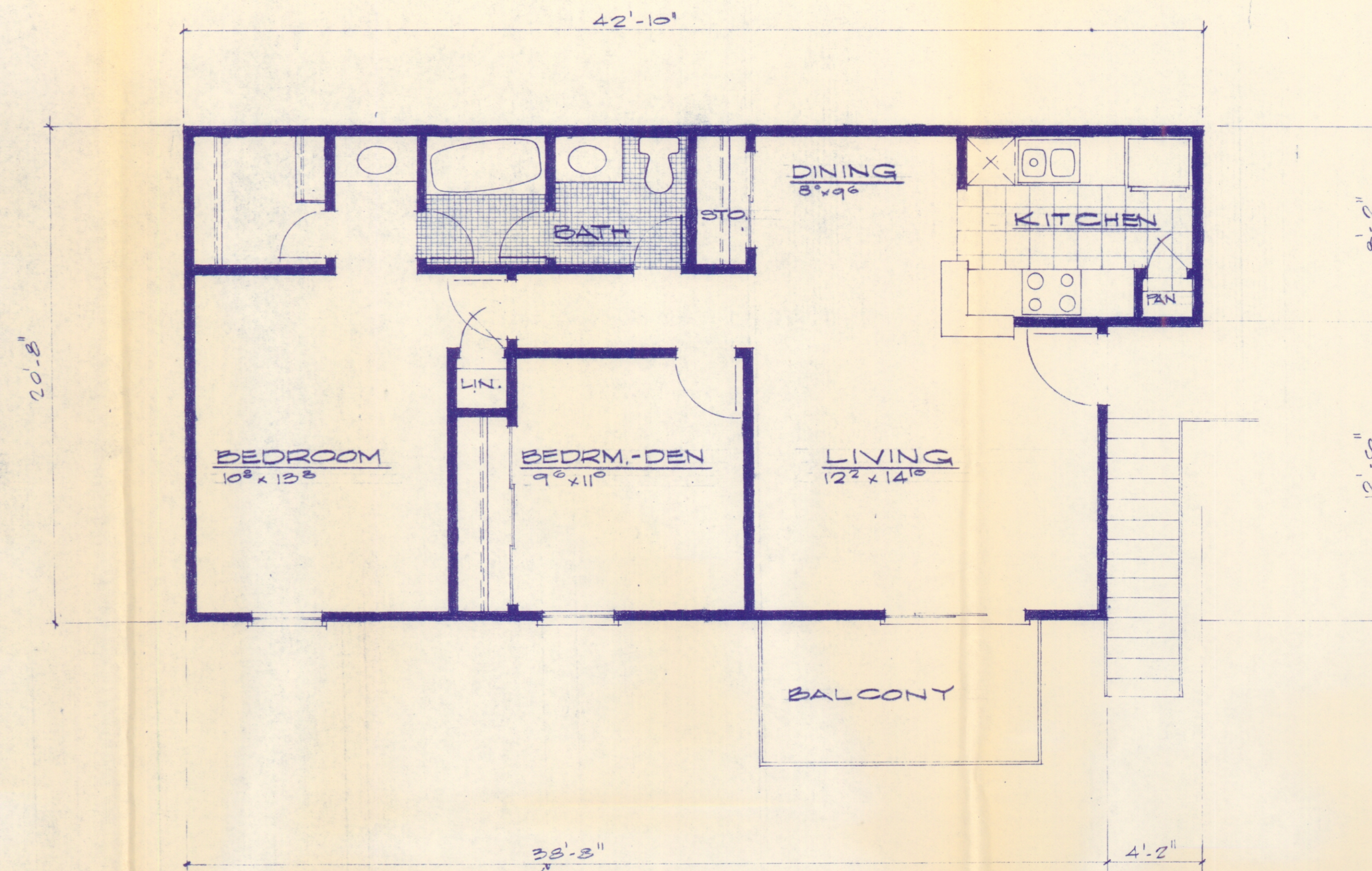
WOOD PRIVACY FENCE

WD. SHUTTERS

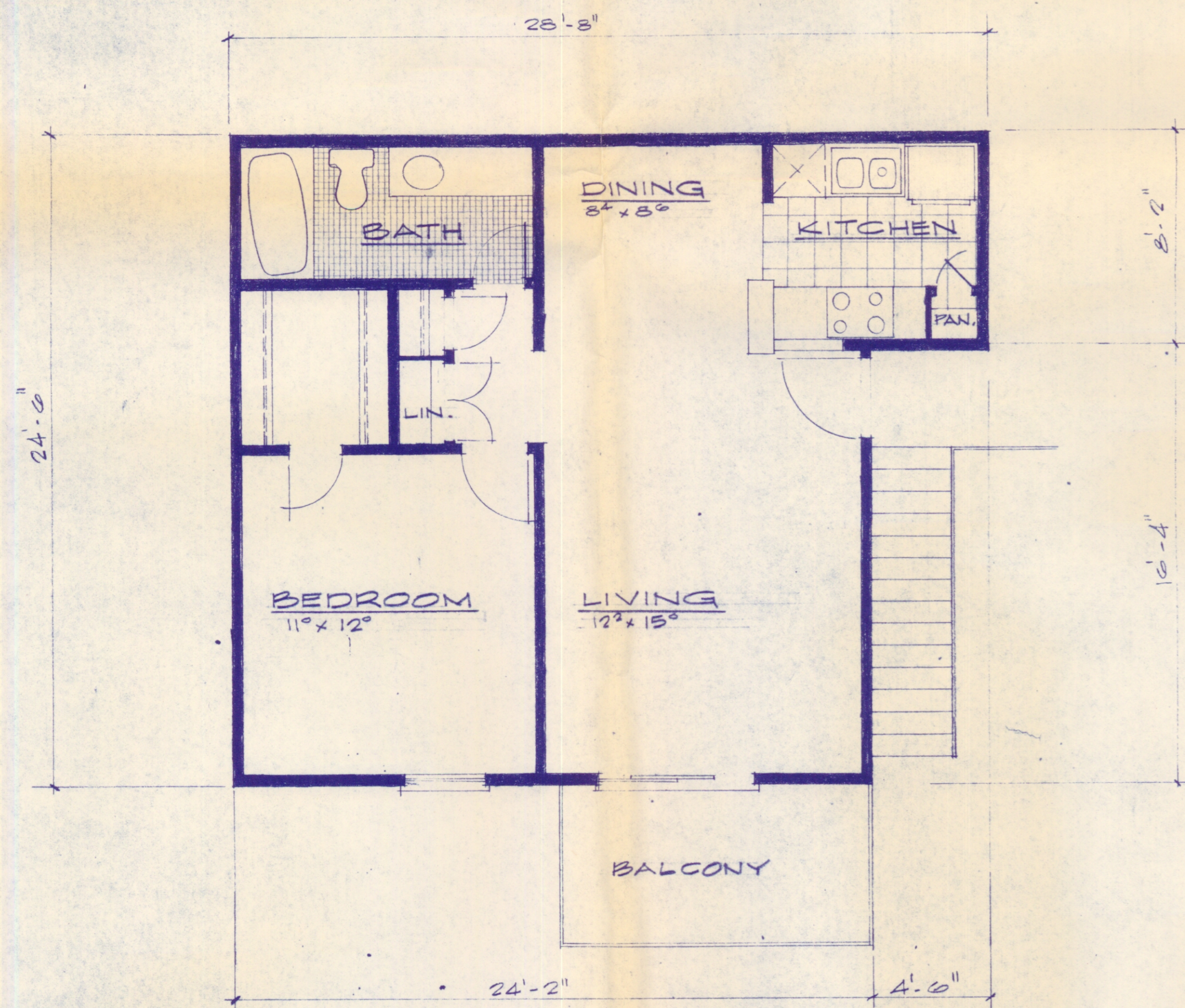
TYPICAL FRONT ELEVATION 12 A-1 UNITS



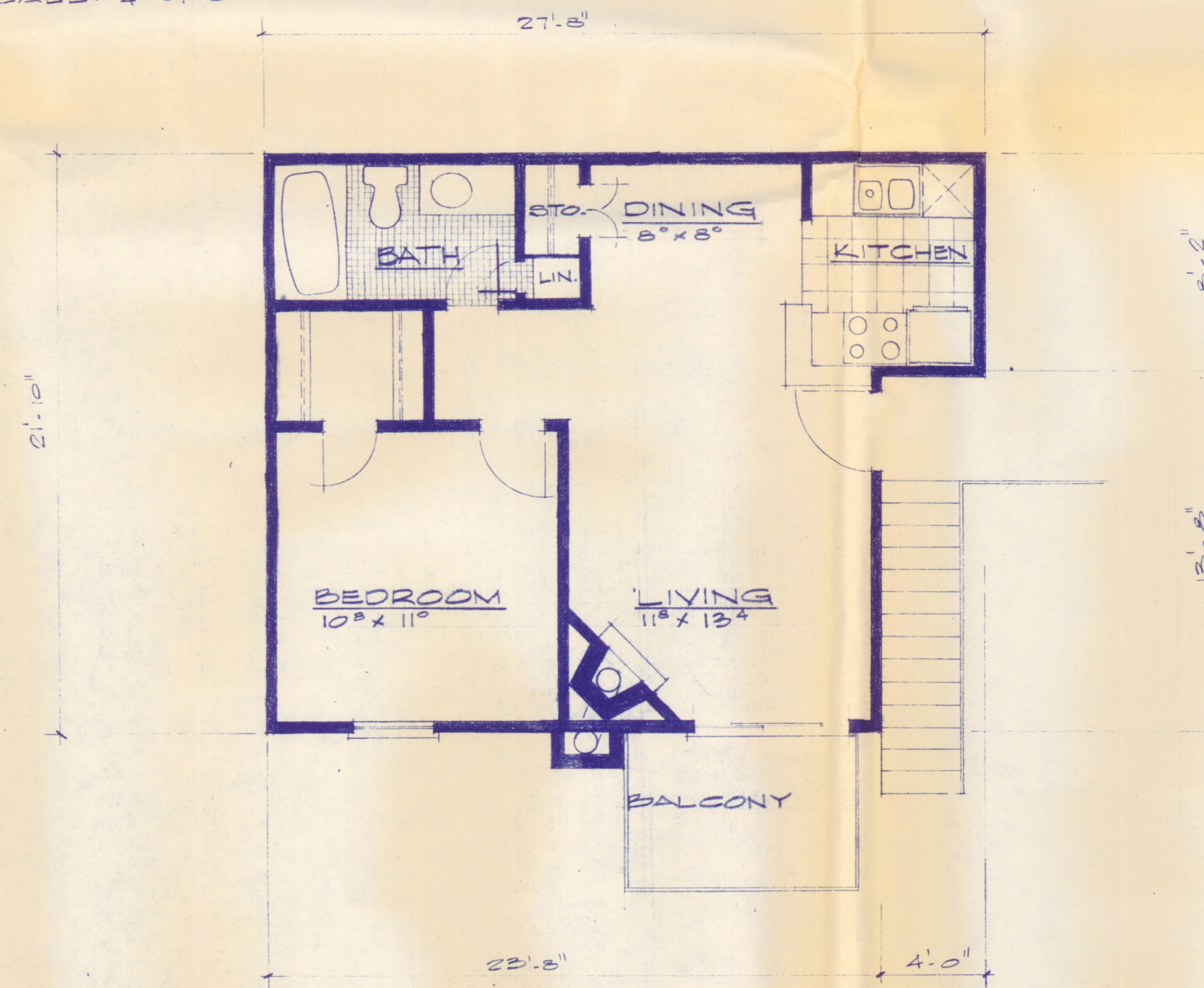
E2-EFFICIENCY FLOOR PLAN 425 S.F.  
SCALE: 1/4" = 1'-0"



B1-TWO-BEDROOM ONE 1/2 BATH FLOOR PLAN 833 S.F.  
SCALE: 1/4" = 1'-0"

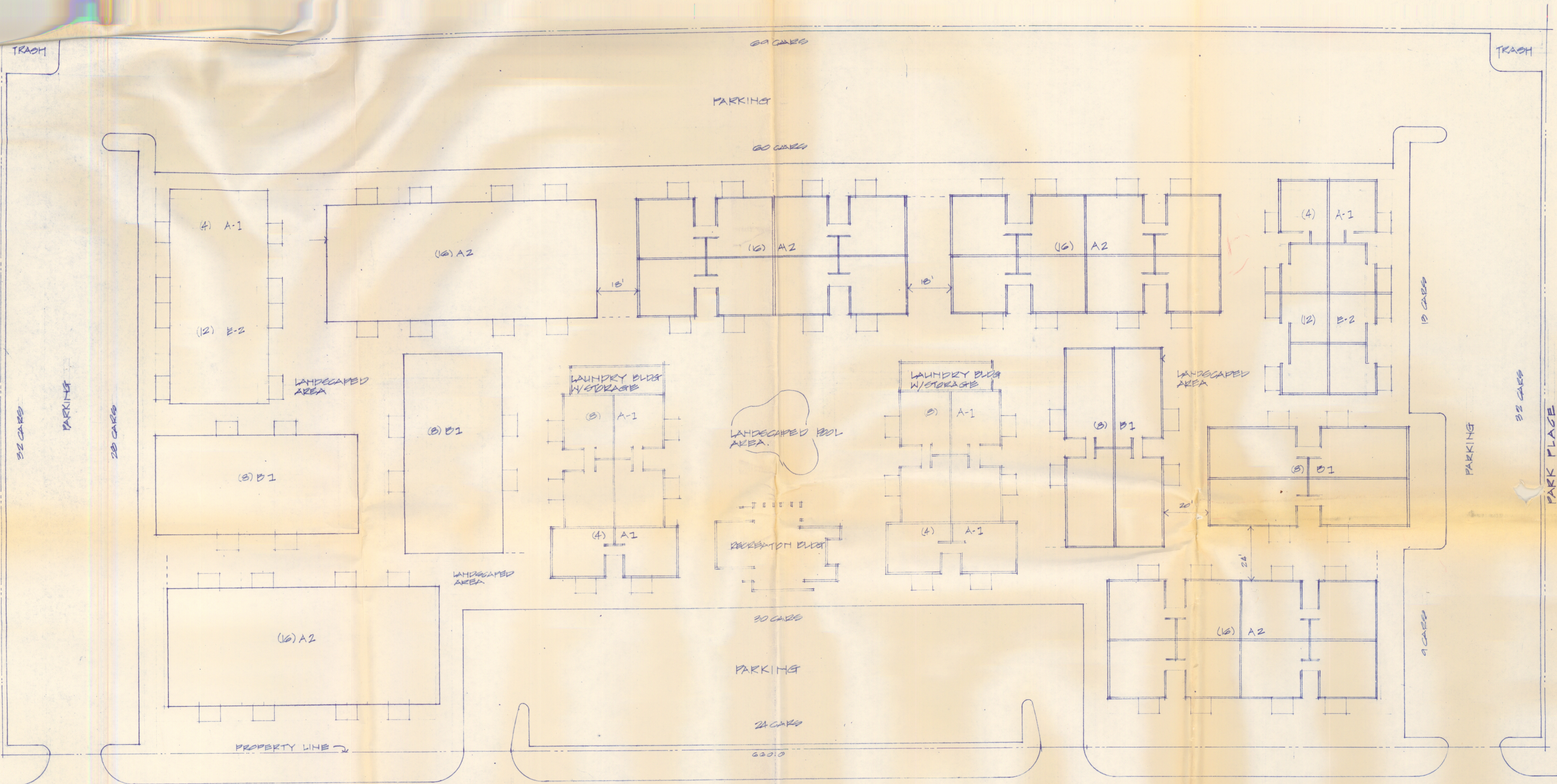


A2-ONE BEDROOM ONE BATH FLOOR PLAN 629 S.F.  
SCALE: 1/4" = 1'-0"

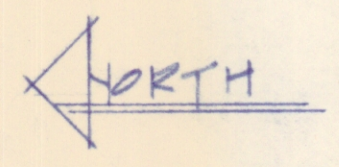


A1-ONE BEDROOM ONE BATH 549 S.F.  
SCALE: 1/4" = 1'-0"

P.U.D. 86  
A



PRELIMINARY PLOT PLAN  
SCHEME # 2  
SCALE: 1" = 20' 0"



ERADEN AVENUE

DATA			TABULATION		
TYPE	NO. OF UNITS	SQ. FT. TOTAL	NO. OF BLDGS	BLDG AREA PER FLR	TOTAL AREA
A1	12	1920	5	384	19200 SF
A2	16	2560	5	512	25600 SF
B1	12	1920	4	480	19200 SF
B2	12	1920	4	480	19200 SF
E2	12	1920	1	1920	19200 SF
TOTAL			16	15	106,344 SF

MISC. DATA  
LAND 4.61 ACRES  
BLDG COVERAGE (1/2 OF TOT.) (26%) 52,672 S.F.  
PARKING & DRIVE (37%) 74,832  
AVERAGE UNIT SIZE 615.29 SF  
PARKING  
REQUIRED BY CODE (1.5/A) 200 CARS  
ACTUAL (1.76/1) 297 CARS  
MISC. AREAS  
RECREATION BLDG 1000 SF.

# SHEET INDEX

- COVER SHEET
- SITE PLAN, PROGRAM SHEET, INDEX, GEN. SITE NOTES
- TYPICAL 1/4" UNIT PLANS, DOOR & WINDOW SCHEDULE
- TYPICAL 1/4" UNIT PLANS
- ELECTRICAL PLANS, LEGEND & NOTES
- VOID
- BLDG. TYPE I - 1/8" PLANS, ELEV. & SECT. MAIL BOX DTL
- BLDG. TYPE II - 1/8" PLANS, ELEV. & SECT.
- BLDG. TYPE III - 1/8" PLANS, ELEV.
- VOID
- VOID
- VOID
- VOID
- VOID
- VOID
- OFFICE & RECREATION BLDG. PLANS, ELEV. & DETAILS
- LAUNDRY & STORAGE BLDG. PLAN & ELEV.
- TYPICAL WALL SECTIONS & DETAILS
- INTERIOR ELEVATIONS

## NOTE:

ALL SHEETS ABOVE, NOTED AS VOID, ARE NOT INCLUDED IN THIS SET OF DRAWINGS. SEE REVISION DATE 6-2-70.

# PROGRAM

TYPE	DESCRIPTION	AREA	UNITS	TOTAL
A-1	132-13, FLAT	710	40	28,400
A-2	132-13, DEN, FLAT	813	24	19,512
B-1	232-13, FLAT	870	40	34,800
SB5	232-13, STUDIO	1231	0	12,310
SB4	232-23, STUDIO	1231	0	7,386
C1	532-23, FLAT	1335	18	24,030
TOTAL UNITS			138	126,438
247 TOTAL PARKING SPACES				
LAUNDRY & STOR 2-530 = 1,060				
RECREATION OFFICE = 2,017				
TOTAL BLDG AREA = 129,513				
BLDG TYPE	NO OF BLDG	NO. & TYPE OF UNITS	UNITS/BLDG	TOTAL UNITS
I	9	2, C1	2	18
II	5	3, A1, 5, B1	16	80
III	2	2, SB4	2	4
IV	3	3, A2, 2, SB4, 2 SB-5	12	36
19 - BLDGS				138 UNITS

## 2.1-HR. EXTERIOR FIREWALL

NOTE: SEE DTL #1932 FOR 1-HR. FIREWALL ASSEMBLY BETWEEN ALL UNITS

## 204-4-HR. MASONRY FIREWALL

## 2-2-HR. EXTERIOR FIREWALL

## 203-CURB & SIDEWALK

## 202-TYPICAL CURB

## GENERAL SITE NOTES

- REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR ALL SITE & LANDSCAPE INFORMATION
- SOME DRAWINGS IN THIS SET ARE NOT DRAWN TO SCALE BECAUSE OF MAJOR CHANGES AFTER THE ORIGINAL COMPLETION DATE. IN ALL CASES THE DIMENSIONS ARE CORRECT - DO NOT SCALE DRAWINGS
- DENOTES DOWNSPOUT
- ONE STORY CONSTRUCTION IN BLDG NO. 1, 2, 3, 4, 5, 6, 7, 8, 9, TWO STORY CONSTRUCTION IN ALL OTHERS
- FIREPLACES OCCUR IN EACH 'C1' UNIT; ON FIRST FLOOR OF THE 'SB5' UNITS, BLDG. NO. 11 & 12 ONLY; AND SECOND FLOOR ONLY OF ALL 'A2' UNITS
- II - DENOTES BLDG TYPE
- SB4 - DENOTES APARTMENT TYPE
- ③ - DENOTES BLDG NUMBER
- ALL EXTERIOR WALLS HAVE A ONE HOUR FIRE RATING - SEE DETAIL A, EXCEPT WHERE OTHERWISE NOTED
- C1 UNITS TO HAVE INDIVIDUAL MAILBOXES, & TRASH PICK-UP

SOUTH DARLINGTON AVE.

201- SITE PLAN

1"=30'-0"



## SITE DESCRIPTION

ALL OF LOTS 3 THRU 10 BLK 1 OF LINCOLN ESTATES 2ND ADDITION TO THE CITY OF TULSA LESS THE WEST 304.41' OF THE NORTH 554.50' OF LOT 3, BLK 1.

SCALE 1"=30'-0"  
SCALE - AS NOTED  
NO SCALE

SITE PLAN  
DETAILS  
MISC.  
SHEET INDEX - PROGRAM - SITE NOTES

8-2-70

JOB NO.  
86-23

REVISIONS  
6-2-70

PHONE AC 214/521-2710  
SUITE 101, 2140 OAKLAWN  
DALLAS, TEXAS 75219

CRAYCROFT-LACY AND PARTNERS  
ARCHITECTS & PLANNERS A.I.A.



JACK CRAYCROFT  
JACK CRAYCROFT  
JACK CRAYCROFT  
JACK CRAYCROFT

SHEET

2  
OF 12

TULSA METROPOLITAN AREA PLANNING COMMISSION  
APPLICATION FOR PLANNED UNIT DEVELOPMENT

NO. 86-A

Action Requested	General Information	Requirements (3 copies)
<input checked="" type="checkbox"/> O-PUD - <u>Amendment</u>	No. of units <u>306</u>	<input type="checkbox"/> Topo
<input type="checkbox"/> S-PUD	Acres _____	<input type="checkbox"/> Plot Plan
		<input type="checkbox"/> Text
		<input type="checkbox"/> General Location Map

GENERAL LOCATION 47th Street and Braden

PRESENT ZONING RM-1, RM-2, RS-3 PRESENT USE (C.D.P. 71)(O-PUD-86)

RECORD OWNER Lincoln Properties

LEGAL DESCRIPTION OF TRACT UNDER APPLICATION:

Lincoln Estates Second Addition

AS APPLICANT WHAT IS YOUR INTEREST IN THIS PROPERTY?	I CERTIFY THAT THE SUBMITTED INFORMATION IS TRUE AND CORRECT	
<input type="checkbox"/> Present Owner	NAME	<u>John W. Sublett</u>
<input type="checkbox"/> Purchaser	ADDRESS	<u>905 N.B.T.</u>
<input checked="" type="checkbox"/> Attorney for Owner	PHONE	<u>LU-28815</u>
<input type="checkbox"/> Agent for Owner		
<input type="checkbox"/> Other		

BILL ADVERTISING AND SIGN CHARGES TO: John W. Sublett  
905 N. B. T. Bldg. (name) LU 2-8815  
(address) (phone)

APPLICANT - DO NOT WRITE BELOW THIS LINE

Application Received By: <u>C. Jones</u>	Date: <u>Dec. 3, 1970</u>
Atlas Page No. <u>384 &amp; 467</u>	P.H. Date <u>Jan. 27, 1971</u>
Location Code <u>27-19-13</u>	\$10.00 Receipt <u>9129-12-3-70-11.B.</u>
Comp. Zoning Map <u>4B</u>	\$25.00 Receipt <u>9130-12-3-70-11.B.</u>
Plat Name <u>Lincoln Estates 2nd</u>	Z-number _____

TMAPC Action:	CITY Action:
ACTION <u>Approval</u>	ACTION _____
PROVISIONS <u>Subj. to cond. of Stays</u>	PROVISIONS _____
DATE <u>January 27, 1971</u>	DATE _____
VOTE <u>7-0</u>	VOTE _____
STAFF REC. <u>Detained - read</u>	STAFF REC. _____

Application No. PUD #86-A

Present Zoning: RM-1, RM-2, RS-3

Applicant: John Sublett (Lincoln Properties)

Location: South of SE corner of Braden and 47th Place

Date of Application: December 3, 1970

Date of Hearing: January 27, 1971

Presentation to TMAPC By: John Sublett

Address: 905 National Bank of Tulsa Building Phone: LU 2-8815

Protests: None.

Staff Recommendation:

Planned Unit Development No. 86-A represents the second amendment to previously approved CDP No. 71. In each instance the applicant voluntarily restricted himself to a specified number of dwelling units in accordance with a particular development plan. This amendment is a request to build the maximum number of units allowed under the original U-2B, U-2A and U-1C zoning pattern approved in 1969. The Staff can find no reason why the applicant should be restricted to less than what the zoning ordinance permitted when approved. Approximately one-half or more of the units have already been constructed and the subject property is platted. Accordingly, the Staff recommends approval of PUD 86-A, subject to the following conditions:

1. That the maximum number of housing units shall not exceed 306 as per plot plan. (This maximum number is based on the old U-2B, U-2A and U-1C zoning pattern.)
2. That the designated office, clubhouse, laundry, recreation building, and outdoor recreational facilities be permitted as per plot plan.
3. That a minimum of 1 1/2 off-street parking spaces per unit be provided. (This requirement is based on the old U-2B, U-2A multi-family zoning pattern.)
4. That the East 100' be restricted to duplex or single-family structures.
5. That signs to identify the project shall not exceed 2 square feet in surface area per individual sign, one sign per structure and each sign must be mounted flush with the building wall. (This requirement is based on the old zoning ordinance.)
6. That the specifications of the plot plan be included as conditions of approval.
7. That U-1C duplex development standards shall apply in that area designated for same (old zoning code).

PUD #86-A (continued)

8. That U-2B apartment development standards shall apply in those areas designated for same (old zoning code).
9. That the 18 duplex units shall not be transferable to the areas designated for apartment development.
10. The subject property has already been platted and approximately 1/2 of the project developed, therefore, the Staff recommends specifically that Sections 970.6 Issuance of Building Permits and 970.7 Amendments of the New Tulsa Zoning Code be waived in lieu of the existing plat and that the Building Inspector shall issue remaining permits according to the approved PUD conditions; furthermore that the remaining standards as set out in Chapter 9, Planned Unit Development, Tulsa Zoning Code shall not apply.

Zoning Committee Recommendation: CONCURRED with the Staff.

TMAPC Action: 7 members present.

On MOTION of CAUGHEY, the Planning Commission voted unanimously to approve PUD #86-A, subject to the conditions recommended by the Staff above:

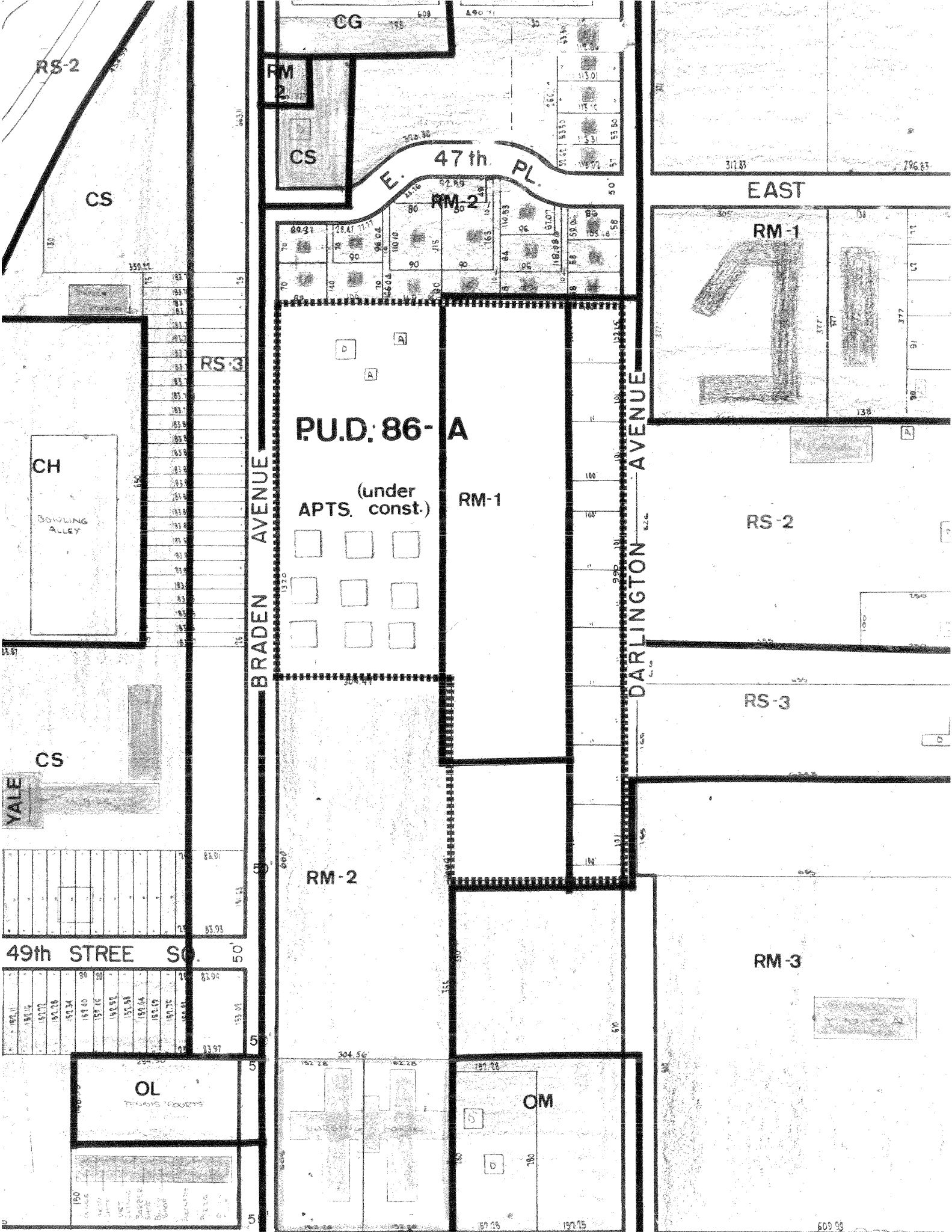
All of Lincoln Estates Second Addition to the City of Tulsa,  
Tulsa County, Oklahoma.

TMAPC Members Present

Bartlett  
Caughey  
Caylor  
Coots (Mrs.)  
Cox  
Dubie  
Kornegay

Staff Present

Gardner  
Osgood  
Martin (Mrs.)



RS-2

CS

CG

RM

CS

E. 47th PL.

RM-2

EAST

RM-1

RS-3

PU.D: 86- A

(under const.)  
APTS.

RM-1

RS-2

RS-3

RM-2

RM-3

CH

BOWLING ALLEY

CS

9th STREET SO.

OL

OM

BRADEN AVENUE

DARLINGTON AVENUE

STAFF RECOMMENDATION

Planned Unit Development No. 86A represents the second amendment to previously approved CDP No. 71. In each instance the applicant voluntarily restricted himself to a specified number of dwelling units in accordance with a particular development plan. This amendment is a request to build the maximum number of units allowed under the original U-2B, U-2A and U-1C zoning pattern approved in 1969. The Staff can find no reason why the applicant should be restricted to less than what the zoning ordinance permitted when approved. Approximately one-half or more of the units have already been constructed and the subject property is platted. Accordingly, the Staff recommends approval of PUD 86A, subject to the following conditions:

1. That the maximum number of housing units shall not exceed 306 as per plot plan. (This maximum number is based on the old U-2B, U-2A and U-1C zoning pattern.)
2. That the designated office, clubhouse, laundry, recreation building, and outdoor recreational facilities be permitted as per plot plan.
3. That a minimum of 1 1/2 off-street parking spaces per unit be provided. (This requirement is based on the old U-2B, U-2A multifamily zoning pattern.)
4. That the East 100 feet be restricted to duplex or single-family structures.
5. That signs to identify the project shall not exceed 2 square feet in surface area per individual sign, one sign per structure and each sign must be mounted flush with the building wall. (This requirement is based on the old zoning ordinance.)
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10. The subject property has already been platted and approximately 1/2 of the project developed, therefore, the Staff recommends specifically that Sections 970.6 Issuance of Building Permits and 970.7 Amendments of the New Tulsa Zoning Code be waived in lieu of the existing plat and that the Building Inspector shall issue remaining permits according to the approved PUD conditions; furthermore that the remaining standards as set out in Chapter 9, Planned Unit Development, Tulsa Zoning Code shall not apply.

Pt. SW/4, 2793  
CZM #48

TULSA METROPOLITAN AREA PLANNING COMMISSION  
ZONING CASE REPORT

APPLICATION No. PUD #86-A John Sublett (Lincoln Property Co.) (CDP #71)

RM-1, RM-2 and RS-3  
Existing Use: CDP #71

Staff Field Check: July 13, 1970

Proposed Use: Apartments

EXISTING CONDITIONS:

ZONING ORDINANCE

The Zoning Pattern for this area was established by Ordinance No. 11824, dated July 1, 1970.

Zoning Background

CDP #71 October 1969

Request for PUD (then CDP) on the subject tract was recommended for approval by the TMAPC and granted by the Board of Adjustment.

PUD #86 October 1970

Request to amend Items 4, 6, & 7. The Staff and Planning Commission approved as a "Minor Amendment".

Adjacent Streets

<u>Existing</u>	<u>Width</u>	<u>Surface</u>	<u>Curbs &amp; Gutters</u>	<u>Parking Restrictions</u>
South Braden Avenue	26'	Blacktop	No	No
South Darlington Ave.	26'	Portland	Yes	No

Surrounding Area

The area under application is located between Braden Avenue and Darlington Avenue, North of East 51st Street. There are apartments to the North and East. To the East and South is vacant land. To the West is a parking lot accessory to a commercial use.

# PROOF OF PUBLICATION

STATE OF OKLAHOMA, TULSA COUNTY, SS:

Dexter Moss, Jr., of lawful age, being duly sworn, upon oath deposes and says that he is the publisher and editor of the TULSA DAILY LEGAL NEWS, a daily newspaper printed in the English language, in the City of Tulsa, Tulsa County, Oklahoma, having a bona fide paid general circulation therein, and with entrance into the United States mail as second class mail matter in Tulsa County, and published in said county where delivered to the United States mail, and that the notice by publication, a copy of which is hereto attached, was published in said newspaper for \_\_\_\_\_ consecutive days-weeks, the first publication being on the \_\_\_\_\_ day of \_\_\_\_\_, 19 \_\_\_\_\_, and the last day of publication being on the \_\_\_\_\_ day of \_\_\_\_\_, 19 \_\_\_\_\_, and that said newspaper has been continuously and uninterruptedly published in said county during the period of more than One Hundred and Four (104) weeks consecutively, prior to the first publication of said notice, or advertisement, as required by Section one, Chapter four, Title 25 Oklahoma Session Laws, 1943, as amended by House Bill No. 495, 22nd Legislature, and thereafter, and complies with all of the prescriptions and requirements of the laws of Oklahoma. (The advertisement above referred to is a true and printed copy. Said notice was published in all editions of said newspaper and not in a supplement thereof.)

Subscribed and sworn to before me by Dexter Moss, Jr., publisher and editor of the TULSA DAILY LEGAL NEWS, this \_\_\_\_\_ day of \_\_\_\_\_, 19 \_\_\_\_\_.

Notary Public.

NOV 28 1971

My commission expires \_\_\_\_\_

PUBLISHER'S FEE \$ \_\_\_\_\_

## METROPOLITAN LEGALS

(C-24453)

(Published in the Tulsa Daily Legal News, Jan. 12, 1971, Dexter Publishing Co., Publishers.)

### NOTICE TO THE PUBLIC OF A HEARING ON A PROPOSED PLANNED UNIT DEVELOPMENT P.U.D. NO. 86-A.

Notice is hereby given that a public hearing will be held before the Tulsa Metropolitan Area Planning Commission, in Langenheim Auditorium, City Hall, 200 Civic Center, Tulsa, Oklahoma, at 1:30 p.m., on the 27th day of January, 1971.

At that time and place, consideration will be given to P.U.D. No. 86-A, a proposed planned unit development permitting varied dwelling types and accessory facilities, as regulated by Title 42, Sections 910-970, Tulsa Revised Ordinances of a tract of real property presently zoned RM-1, RM-2 & RS-3, and described as:

All of Lincoln Estates Second Addition to the City of Tulsa, Tulsa County, Oklahoma.

and being approximately located South of the SE corner of Braden and 47th Place.

All persons interested in this matter may be present at this hearing and present their objections to or arguments for the proposed development.

After hearing, review and consideration, the Tulsa Metropolitan Area Planning Commission may approve, approve with modification, or deny the proposed planned unit development.

The application, and outline development plan, maps and text may be inspected at the offices of the Tulsa Metropolitan Area Planning Commission, 3rd Floor, City Hall, 200 Civic Center, Tulsa, Oklahoma.

DATED at Tulsa, Oklahoma, this 8th day of January, 1971.

K. N. COX,  
Secretary.

LETTER OF TRANSMITTAL

PUD 86A



McCUNE McCUNE & ASSOCIATES ARCHITECTS & ENGINEERS

DATE: January 8, 1971  
TO: Mr. Subler  
Lincoln Properties

PROJECT: Park Place II Lincoln Properties

503.0

RE:

GENTLEMEN:

WE ARE SENDING YOU HEREWITH ☒ UNDER SEPARATE COVER ☐  
☒ PRINTS ☐ TRACINGS ☐ SUBMITTALS ☐ SHOP DRAWINGS

NO. OF COPIES DRAWING NO.

DESCRIPTION

1

1

Preliminary Plot Plan

REMARKS:

/rs

BY: McCUNE, McCUNE & ASSOCIATES

# LINCOLN ESTATES SECOND

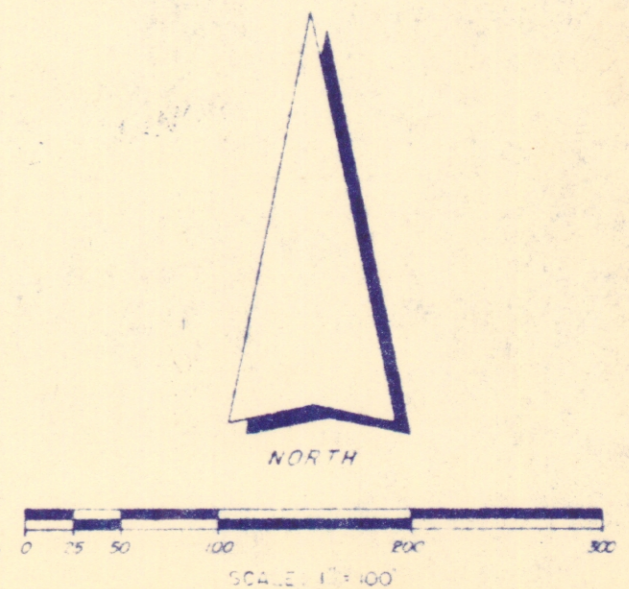
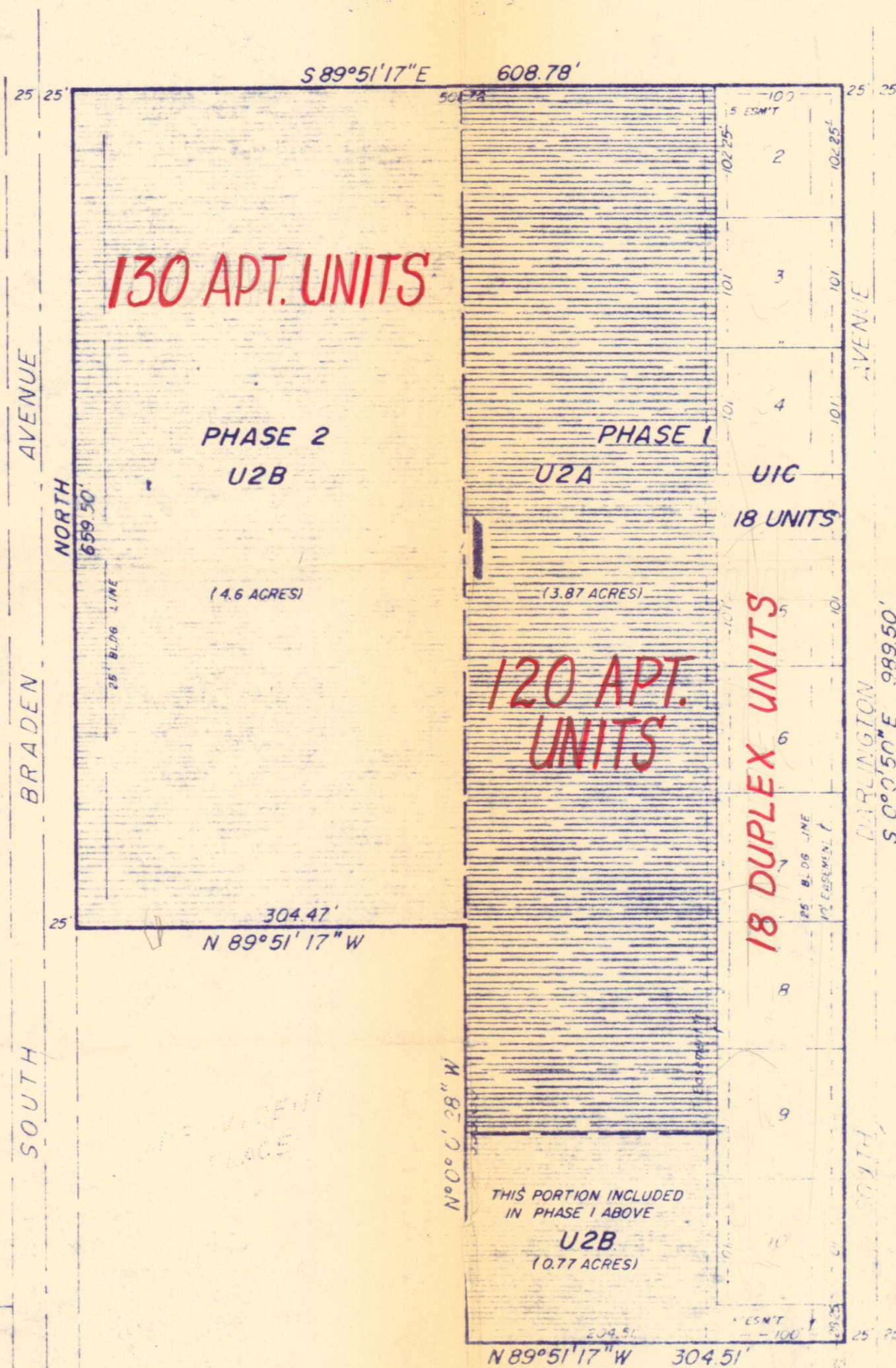
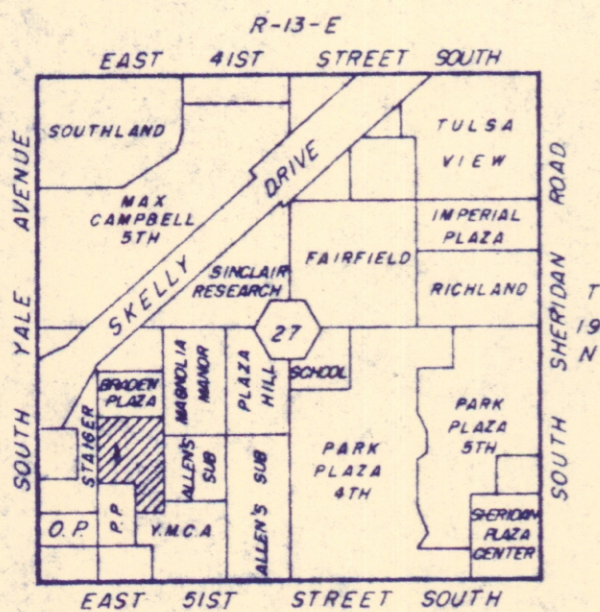
A RESUBDIVISION OF LOTS 7, 8, 9, 10 AND THE E/2 OF LOTS 11 AND 12, CANFIELD SUBDIVISION IN TULSA, TULSA COUNTY, OKLAHOMA

OWNER:

LINCOLN PROPERTY COMPANY NO. 34, A PARTNERSHIP  
1200 STEMMONS TOWER NORTH  
DALLAS, TEXAS

COP # 71

HAMMOND ENGINEERING COMPANY  
4948 EAST 49th STREET  
TULSA, OKLAHOMA



3.87 ACRES U2A ZONING ALLOWS	70 UNITS
5.37 " U2B " "	219 "
2.27 " UIC " "	18 "
<b>TOTAL UNITS ALLOWED</b>	<b>307 "</b>

<b>TOTAL MULTIFAMILY UNITS REQUEST'D</b>	<b>250</b>
<b>TOTAL DUPLEXES REQUESTED</b>	<b>18</b>
<b>TOTAL NUMBER OF UNITS IN PROJECT</b>	<b>268</b>